

HEROLDS BAY COUNTRY ESTATE

**PTN 7 A PORTION OF PORTION 7 OF FARM
BUFFELSFONTEING NO. 204
SITUATED IN MUNICIPALITY AND ADMINISTRATION DISTRICT OF
GEORGE.**

VISUAL STATEMENT

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VISUAL STATEMENT

1 INTRODUCTION AND BACKGROUND

In accordance with the requirements of the National Environmental Management Act (Act 107 of 1998) (NEMA) and the associated promulgated regulations, the proposed the Herold's Bay Development (HBD), due to its extent and location a visual impact on the natural and social environments, is subject to investigation of the significance of this impact.

This visual statement has been requested by the Municipality of George Planning Department in order to gain insight into the extent and degree of visual intrusion, if any, of the proposed HBD on the existing rural and residential setting.

Cave Klapwijk and Associates (CKA) has been appointed by Sharples Environmental Services CC to prepare the Visual Statement that will be submitted to the Municipality in response to their request.

The HBD is located at Herolds Bay and approximately 10 km south of George. Refer to **Figure 1 Locality Plan**.

A visual impact study will form part of the Environmental Impact Report (EIR) that will be produced by Sharples Environmental Services (SES).

In 2009 Cave Klapwijk and Associates (CKA) prepared a Visual Impact Assessment (VIA) report for the Developer who at that time owned the property. This VIA report was not placed in the public realm as the application for environmental authorisation to the Department of Environment Affairs was not made. The property was later sold to the present owner.

Information in the above-mentioned report is referred to and some maps are reproduced,

1.1 Objective

The objective of this Visual Statement is to assess the potential visual intrusion of the HBD on the existing surrounding natural and socio-economic environment in response to the request by the Municipality of George.

1.2 The visual context

The size of the proposed HBD will change the visual character and quality of the local setting.

The area for the proposed development is significantly less than a previous application. **Refer to Figure 2 Site Plan (included development footprint).**

The visual change will be due to the arrangement and height of the proposed residential and commercial buildings on the site. These buildings are located in a prominent position on a landform adjacent to an existing suburban housing area known as Herolds Bay Extensions 1 and 2.

At present the site is not within the Urban Edge, however it is acknowledged in the Draft Spatial Development Framework (SDF) of August 2018 as follows, “that it is recognised that an extension to the urban development area at and contiguous to Herolds Bay, alternative seasonal traffic congestion through the provision of remote parking facilities and assist with funding transport improvements into Herolds Bay and to the beach area for general public. These needs will be key consideration in the deliberation of such a proposal”

2 APPROACH TO THE STATEMENT REPORT

CKA attended a meeting with the Town Planner Mr Deon Nel and the Engineer Mr Hannes Lourens at which the layout rational and engineering aspects were explained and discussed.

The site was visited by Alan Cave to note any significant changes that have occurred since the VIA report study in 2009.

Reference to the VIA has been made where necessary to clarify the extent of the visual intrusion of the new proposed layout



Figure 2 Site Plan –above the layout, the position on the Ptn., approx. 19ha, is shown on the thumbnail figure

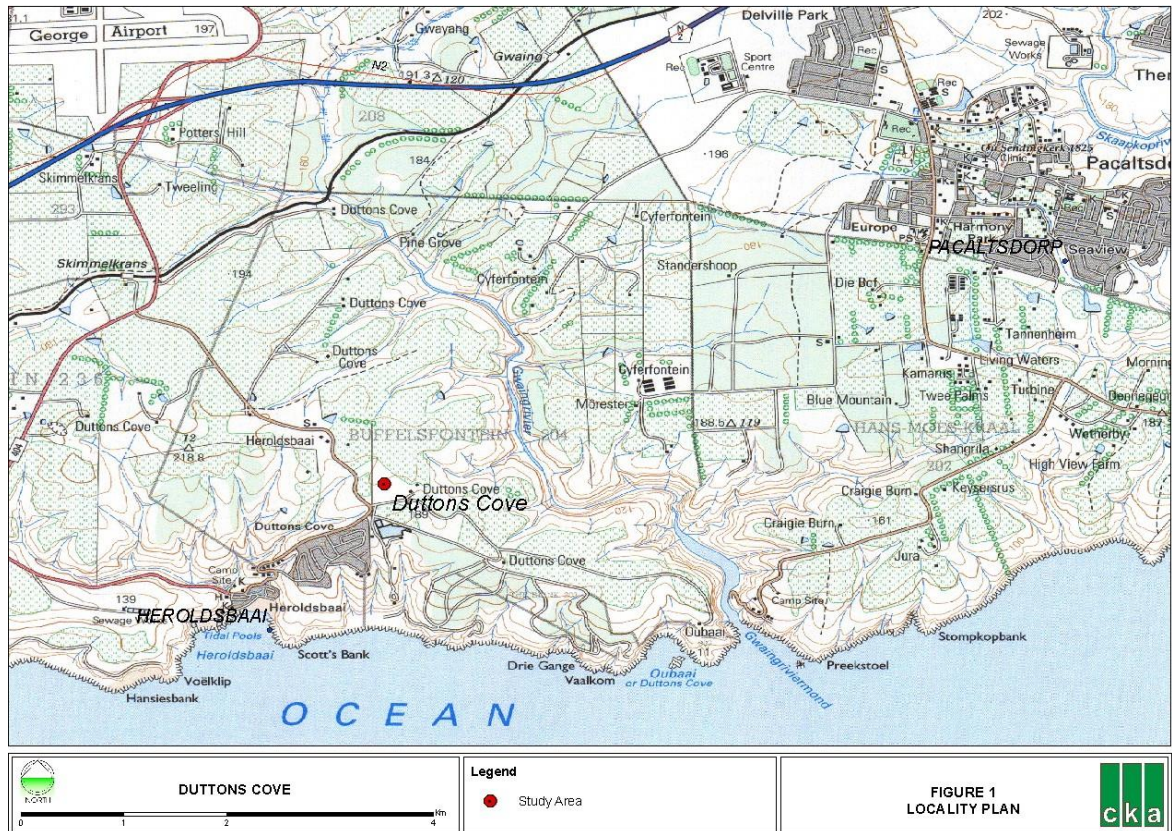


Figure 1 Locality Plan

3 FINDINGS

The following findings are based on the site analysis that was included in the VIA of 2009 and comment is provided relative to the proposed new layout as shown in **Figure 2 Site Plan**, **Figure 3 View Shed** and **Figure 4 Site Analysis**.

These are:

3.1 The extent of the local View Shed

The View Shed is the line that joins the local ridge lines that indicate the limit of the view extent from a particular point in the landscape. View Sheds usually define Visual Units in a landform/ topographical analysis.

The local ridge line defines the limit a landscape bowl that has at its centre the existing dam. The majority of residential units lie within this and therefore have limited visual exposure beyond. This is based on the height limit of the

proposed units being a maximum of two storeys. Refer to **Figure 2 Site Plan and Figure 3 View Shed.**

The visibility of the development is limited to those units that lie outside the ridge line on the southern and south eastern part of the development. Both these areas will form part of the visible urban structures that exist on the adjacent properties and include farm dwellings along the access road and houses related to Oubai and The Brink/Breakwater Bay and therefore add to the visual unit of structures to the east and south of the Site.

In reality views of toward the site of residential units (have low visual intrusion storeys tall will have a low visual intrusion rating beyond 300m. this is due to the height reduction with distance and the intervening vegetation and existing structures. Also, people in urban environments seldom focus on distant views above the horizontal eye level plane unless at a viewing point or panoramic view of visual beauty.

3.2 Change in local Character and Sense of Place of the setting.

The proposed development in the position shown on Figure... Site Plan will change the Character and Sense of Place of the site as is always the case when new development takes place on the outer edge of existing small urban areas. The question is, will the proposed development be of a scale and density that will significantly alter scenic views of or across the site that the receptors, in this case, adjacent resident property owners?

Given the type of mix of residential proposed and the location on the sight the answer is that it is unlikely to be so abhorrent that the receptors will have their property values negatively affected. The reason for this is that the majority of residential units cannot be seen because they are visually shielded from view by the surrounding ridge line that forms the boundary of the view shed. Within which most of the units will be built. Where the houses can be seen the receptors are more than 300m away and at this distance the view of the unit, will be insignificant.

When one considers the views of the future residents of the development the enclosed viewshed has definite advantages of screening the view of the N2 and its traffic noise.

In the context of the smaller scale and lower density of the proposed development when compared to an earlier proposed development it is a

visual advantage in that the new development will have a better 'visual fit' on the landscape and into the existing development on the southern and eastern borders of the site.

In addition, over time with suitable planting of trees and shrubs the bare outline and silhouette of buildings can be visually reduced by the visually softer environment that will limit the severity of the change in character and sense of place that will also overtime create its own.

Given the above it is unlikely that the change in the rural/agricultural character and the associated sense of place will be a significant negative feature of the proposed development. The approach to the suburbs of Herolds Bay Extensions 1 and 2 from the west and south will be through a rural/agricultural setting as this land use will remain intact as shown by the Guide Plan for development in the area.

4 CONCLUSIONS

With reference to paragraph 3 Findings and the analysis that was done with regard to the view shed extent, and the scale location and layout of the proposed development, the visual intrusion is considered to be low to medium. This is conditional on the quality of the structures and their colour and in the context of the existing surrounding residential development it is concluded that the proposed development as illustrated in **Figure 2 Site Plan**,

will not be a significant visual intrusion on the setting nor will it cause a significant negative degradation of the character and sense of place of the setting.

5 MAPS AND PLANS

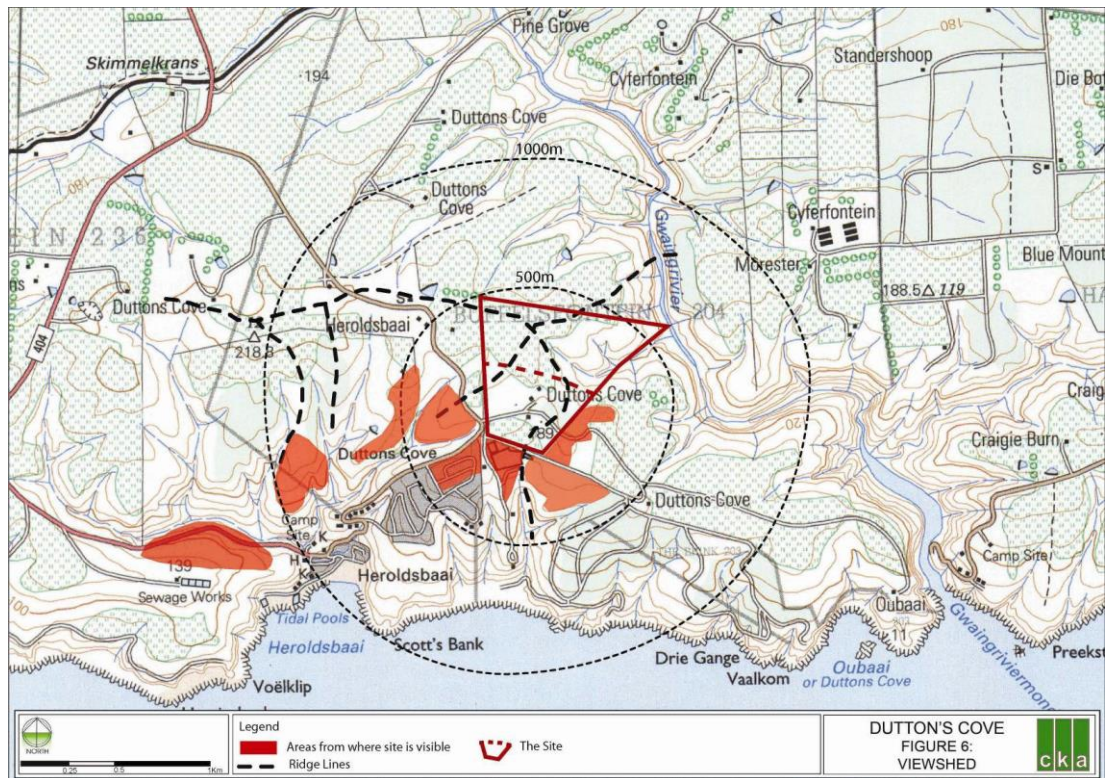


Figure 3 View Shed – visibility in views to the site from surrounding areas within a radius of 500m and 1000m

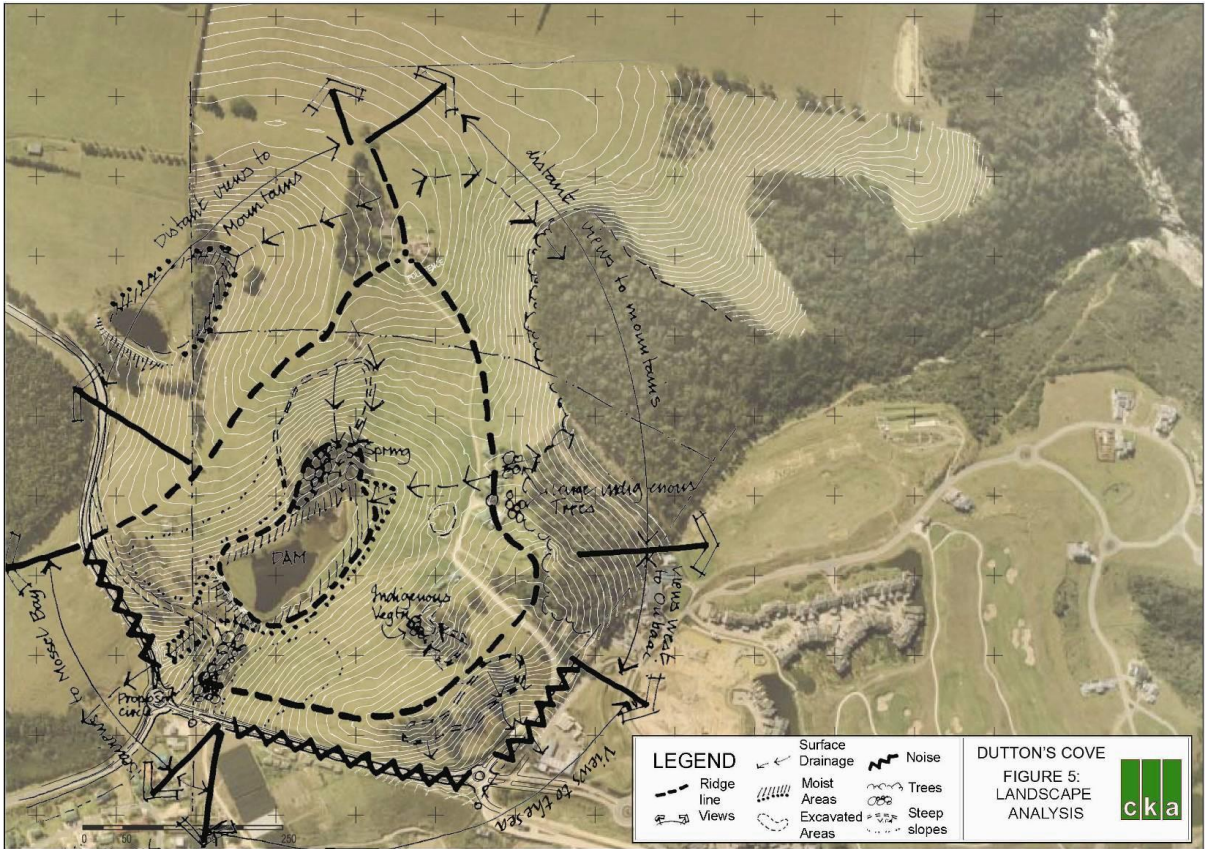


Figure 4 Site analysis

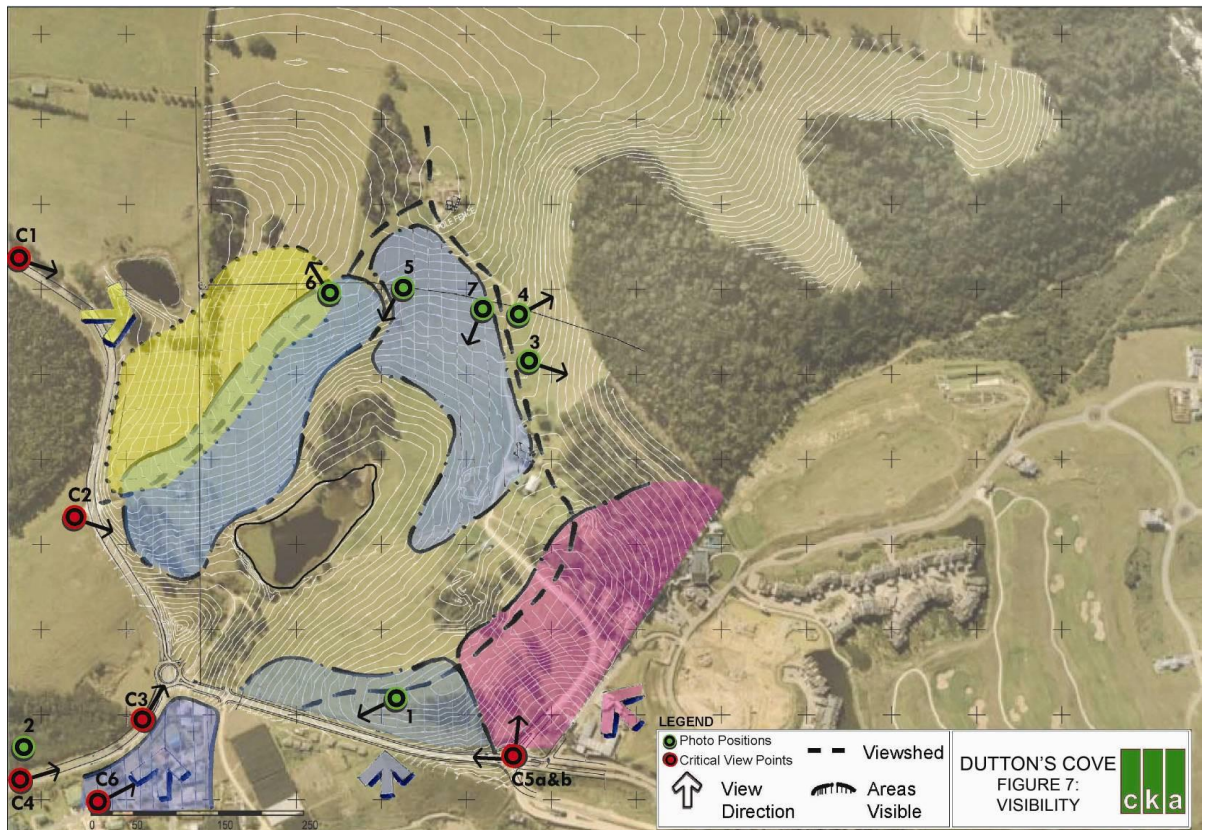


Figure 5 Photo positions – not all photographs are included in this report

6 PHOTOGRAPHS



Photo 2: View N to site from Herold's Bay Ext 1&2



Photo 5: View S from Northern boundary of site



Photo 7: View S from NE corner of the Site



Photo C1: View E from road D1590 220 m to site boundary and 425m to opposite side of site.



Photo C3: View NW near junction with road to Obaai Estate 85m to southern corner and 320m to northern edge site



Photo C4: View NW at junction to road to Herold's Bay Ext 1 530m to northern edge of site



Photo C5b: View north at circle at Breakers View and Oubai Estate



Photo C6: View N from Herold's Bay Ext