

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Glass

MAIN OFFICE

Net Floor Area (m²)	151,57m²
Total Glazed Area (m²)	34,71m²
% Glazed Areas to Floor	22,90%

Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Casoc) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204.
(A1 x U1) + (A2 x U2) < At x Ccasoc
(A1 x U1) + (A2 x U2) = 194,38
At x Ccasoc = 212,20

Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204.
(A1 x Si x Et) + (A2 x Si x Et) < At x Ccasoc
(A1 x Si x Et) + (A2 x Si x Et) = 18,0484
At x Ccasoc = 19,7041

Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SANS 204 & SANS 10400-XA Requirements

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GLAZING ELEMENT
Aluminum Thermal Break Frames with Double Clear Glass

GUARD ROOM

Net Floor Area (m²)	14,47m²
Total Glazed Area (m²)	7,20m²
% Glazed Areas to Floor	49,70%

Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Casoc) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204.
(A1 x U1) + (A2 x U2) < At x Ccasoc
(A1 x U1) + (A2 x U2) = 17,35
At x Ccasoc = 20,26

Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204.
(A1 x Si x Et) + (A2 x Si x Et) < At x Ccasoc
(A1 x Si x Et) + (A2 x Si x Et) = 1,8109
At x Ccasoc = 1,8811

Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

ESTIMATED ENERGY CONSUMPTION

Legend	Description	Watts	Quantity	Total Watts
Lighting	Ceiling Lights	11W	53	583
Lighting	Wall Lights	11W	14	154
Lighting	External Spot Lights	200W	7	1400
Lighting	High Bays Lights	80W	12	1020
	Total		3157	
	Floor Area		1011,98m²	
	Water		3,12W/m²m	
	Permitted 17W/m²m			

MAXIMUM ANNUAL ENERGY DEMAND AS PER SANS 10142 = 97845,52kWh
(kWh x Hours per day x 365 days) / 1000 = Estimated Annual Energy Consumption
(3157 x 5 x 365) / 1000 = 5781,53
ESTIMATED ANNUAL ENERGY CONSUMPTION: 5782kWh

The design complies with the minimum requirements of SANS 10400-XA:2011 for Energy Consumption.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Glass

BULK OFFICE

Net Floor Area (m²)	52,74m²
Total Glazed Area (m²)	13,05m²
% Glazed Areas to Floor	24,74%

Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Casoc) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204.
(A1 x U1) + (A2 x U2) < At x Ccasoc
(A1 x U1) + (A2 x U2) = 73,08
At x Ccasoc = 73,84

Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204.
(A1 x Si x Et) + (A2 x Si x Et) < At x Ccasoc
(A1 x Si x Et) + (A2 x Si x Et) = 6,7856
At x Ccasoc = 6,8652

Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Low E Glass

IT ROOM / LOCKER ROOM

Net Floor Area (m²)	10,95m²
Total Glazed Area (m²)	2,88m²
% Glazed Areas to Floor	26,30%

Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Casoc) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204.
(A1 x U1) + (A2 x U2) < At x Ccasoc
(A1 x U1) + (A2 x U2) = 11,69
At x Ccasoc = 15,33

Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204.
(A1 x Si x Et) + (A2 x Si x Et) < At x Ccasoc
(A1 x Si x Et) + (A2 x Si x Et) = 1,0855
At x Ccasoc = 1,4235

Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SCHEDULE OF RIGHTS

Use Zone	Industry Zone 2	Permissible	Actual
Site Area	18155m²		
Coverage (%)		75,00%	8,13%
Coverage (Actual)		13616,25m²	1477,28m²
F.A.R.		1,5 (27232,50m²)	* 0,0814 (1477,28m²)
Height		Max 12,00m	Tank Height 10,83m
Building Lines	Side Boundaries - 0m		Max Bldg Height 6,98m
	Rear Boundary - 0m		
	Street Boundary - 0m		
Total Area	1477,28m²	* Special F.A.R. Note:	
		Total Floor Area	2079,53m²
		Double Volume Area	0,00m²
		F.A.R. Floor Area	2079,53m²

Parking Requirements

	Gross Lettable Office Area	Bays Required	Bays Provided
4,0 Parking Bays/100m² of Gross Lettable Office Space	344,74m²	13,79 Bays	18 Bays
Parking for Trucks	n/a	30 Bays	30 Bays
Disabled Parking	n/a	1 Bays	1 Bays

GENERAL NOTES

All work to be in accordance with the National Building Regulations and the Local By-laws.
Any errors, discrepancies or omissions are to be reported immediately.
All levels, dimensions and steps are to be checked and verified on site before commencement of any work.
Work to figured dimension only - drawings are not to be scaled.
Foundations to boundary walls are not to encroach any boundaries.
All electrical and plumbing work are to be carried out by registered tradesmen.
Brick re-inforcing to be installed every 5th course in brickwork.
Two courses of brick re-inforcing at window head height.
Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
Vertical dpc where required.
Windows to be a minimum of 10% of floor area with opening sections as prescribed.
All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES

Minimum depth of sewer to be 500mm.
All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
at ground level.
Fall of all drain pipes to be between 1:60 and 1:40.
Provide approved reseal traps to all waste fittings.
Provide AE at foot of all soil stacks.
IES to waste pipes to be fully accessible at all times.
All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
Pipe sizes: Soil pipes, vents & wc = 110mm
Awp = 50mm
Bath, shower and wash troughs = 38mm
Basins and bidets = 32mm

GLAZING NOTES

Under 0,75m - 3mm glass
0,75 - 1,50m - 4mm glass
1,50m and above - 6mm glass
All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES

Sheeted Roofs
0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
Trusses of 114 x 58 Grade 4 timber and 226 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
76 x 38 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminum powder coated gutters & down pipes - To match wall colour (where applicable).
Concrete roofs to be in accordance with engineer's design.
900 wide paved strip around perimeter of dwelling.

STAIR NOTES (Where applicable)

All risers to be 170mm.
All treads to be 300mm.
1000mm high balustrades.
1000mm high handrails.
Minimum Stair Headroom to be 2100mm.
All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS

All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS

Pool to be finished only in a Charcoal or Portland Grey colour.
Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES

External wall colour - Earthy colours.
All external windows and doors to be charcoal aluminium.
Internal electrical installation to comply with SABS 0142.
TV aerials, satellite dishes and air-conditions to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
No Solar Geysers or Solar Panels to be visible from any street.
900mm wide grey cement paving around buildings to prevent erosion from rain water.
Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinum.
All buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES

5,5mm rhino ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP

on
Stands 56 and 57 Mosselbaya Township
for
Confuel (Pty) Ltd

signature owner: _____

signature architect: _____

drawing
Site Plan Calculations Window Schedule

J Keyser in association with WIF Bodtha
PrSArchT

SACAP Registration Number: **ST1177**

Cellular Numbers: J Keyser +27 82 177 8198
WIF Bodtha +27 83 288 4838

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drawn J Keyser scales As Shown drawn August 2022

area	Main Office	Entrance Porch	Abution	Laundry	Dining Area	Canteen	Store	Bulk Office	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Depot Gov Pass	Diesel Depot	Total Area	
	-	165,84m²	-	8,80m²	-	172,64m²	-	36,69m²	-	14,20m²	-	58,77m²	-	44,46m²	-	25,49m²	1477,28m²
	-	-	-	-	-	-	-	60,25m²	-	6,75m²	-	69,00m²	-	16,68m²	-	19,69m²	300,75m²
	-	-	-	-	-	-	-	1,01m²	-	-	-	164,84m²	-	13,76m²	-	45,30m²	465,30m²
	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

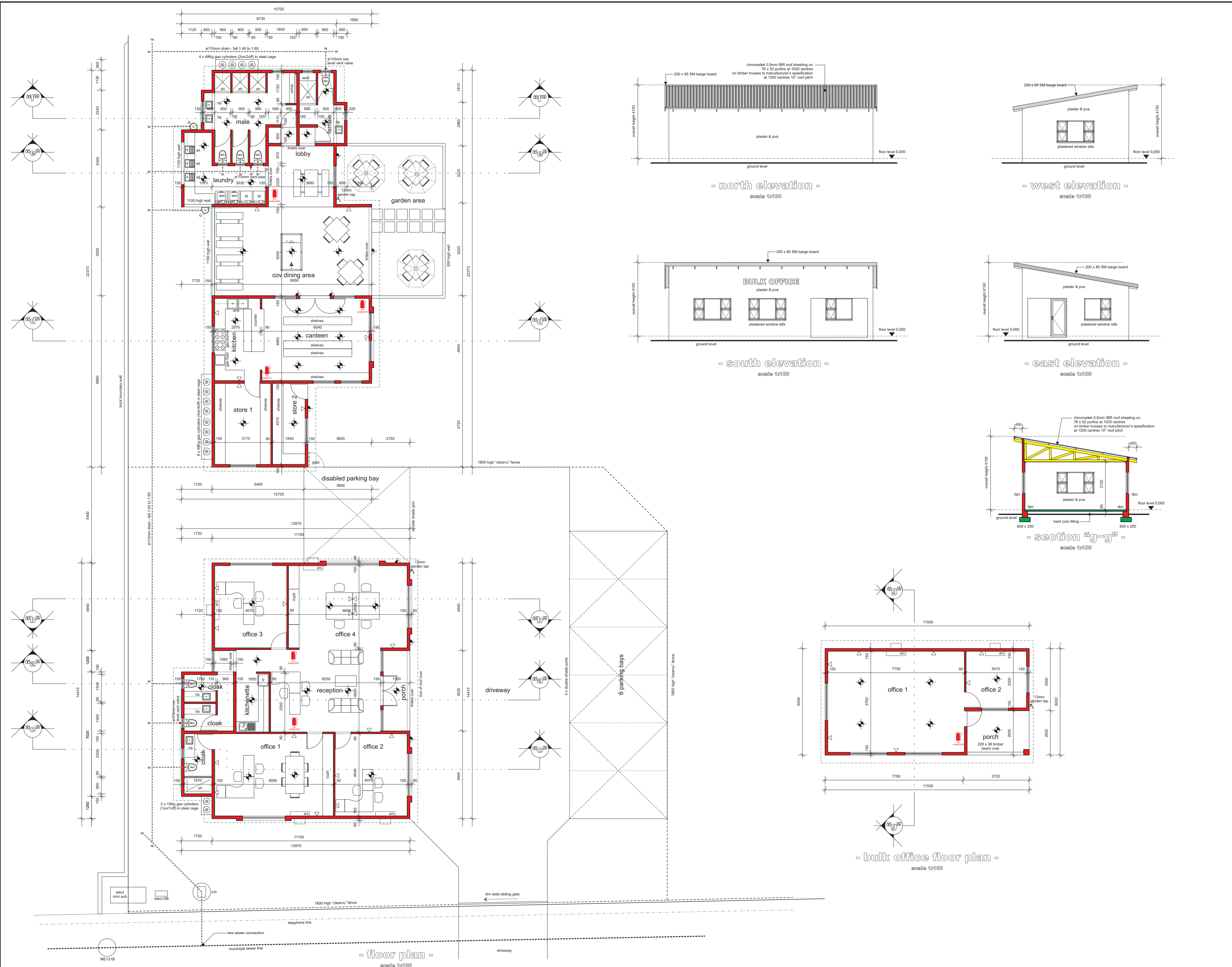
Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Task Sizes reduced/Wall thickness reduced using Max Bids	January 2023

File Name: 56 and 57 Mosselbaya - Johan Pretorius - New Truck Stop (FINAL).cdr
Sheet 1 of 9 Sheets

window schedule

Top-Hung Charcoal Aluminium Windows & Doors

main office	bulk office	canteen / store / ablation block	guard room	locker room / IT room
6T12	15DT12	12T6	6T12	12DT12
12DT21	21DDT12	15T9	9T12	9T12
24DDT21	24DDT21	6T12	9T12	9T12
30DDT21	30DDT21	12DT12	12T12	12T12
double hinged door	hinged door	hinged door	double hinged door	double hinged door
(1200 x 2100) 2 off LH 1 off RH	(1500 x 1200) 1 off LH 1 off RH	(1200 x 600) 2 off LH 2 off RH	(600 x 1200) 1 off	(1200 x 1200) 2 off RH 2 off LH
(2400 x 2100) 3 off	(2100 x 1200) 3 off	(1500 x 900) 1 off RH	(900 x 1200) 2 off	(900 x 1200) 4 off
(3000 x 2100) 1 off	(900 x 2100) 3 off internal	(900 x 2100) 1 off	(1500 x 1200) 1 off LH	(1200 x 2100) 1 off LH
(1700 x 2100) 1 off	(900 x 2100) 3 off	(900 x 2100) 1 off	(1700 x 2100) 1 off	(1700 x 2100) 1 off
(900 x 2100) 3 off	813 Timber Frames 3 off internal	813 Timber Frames 1 off internal	813 Timber Frames 7 off internal 1 off external	813 Timber Frames 2 off external



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 Work to figured dimension only - drawings are not to be scaled.
 Foundations to boundary walls are not to encroach any boundaries.
 All electrical and plumbing work are to be carried out by registered tradesmen.
 Brick re-inforcing to be installed every 5th course in brickwork.
 Two courses of brick re-inforcing at window head height. Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
 Vertical dpc where required.
 Windows to be a minimum of 10% of floor area with opening sections as prescribed.
 All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
 Minimum depth of sewer to be 500mm.
 All plumbing and drainage work and installation of sanitary fittings to comply with the relevant Local Authority by-laws, regulations and requirements.
 Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
 Roof fall of all drain pipes to be between 1:50 and 1:40. Provide approved resin traps to all waste fittings.
 Provide AE at foot of all soil stacks.
 IE's to waste pipes to be fully accessible at all times.
 All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
 Pipe sizes: Soil pipes, vents & wc 110mm
 Aseps 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,75m² 3mm glass
 0,75 - 1,50m² 4mm glass
 1,50m² and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
 76 x 38 wall plates.
 Roof pitch to be as shown on section.
 Roof overhang to be as shown on section.
 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
 1000mm high handrails.
 Minimum Stair Headroom to be 2100mm.
 All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
 All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
 Pool to be finished only in a Charcoal or Portland Grey colour.
 Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
 External wall colour - Earthy colours.
 All external windows and doors to be charcoal aluminium.
 Internal electrical installation to comply with SABS 0142.
 TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
 No Solar Geysers or Solar Panels to be visible from any street.
 900mm wide grey cement paving around buildings to prevent erosion from rain water.
 Staining and/or sealing to external timber doors - Natural wood colour.
 Colour/finish of any exposed timber - Treated with Carbolignum.
 All Buildings to be built in accordance with the approved building plans.
 Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
 9,5mm rhino ceiling boards - R-Value 0,045
 Approved underlay - R-Value 0,75
 135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to stumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 on
Stands 56 and 57 Mosselstruis Township
MOSSELBAY
 for
Confuel (Pty) Ltd

signature owner: _____
 signature architect: _____
 drawing
 Main Offices Ablution Canteen Bulk Office

J Keyser in association with **WF Botha**
 PrSArchT

SACAP Registration Number: **ST1277**
 PO Box 9183
 Cloke Park
 1601
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 WF Botha +27 83 289 4838

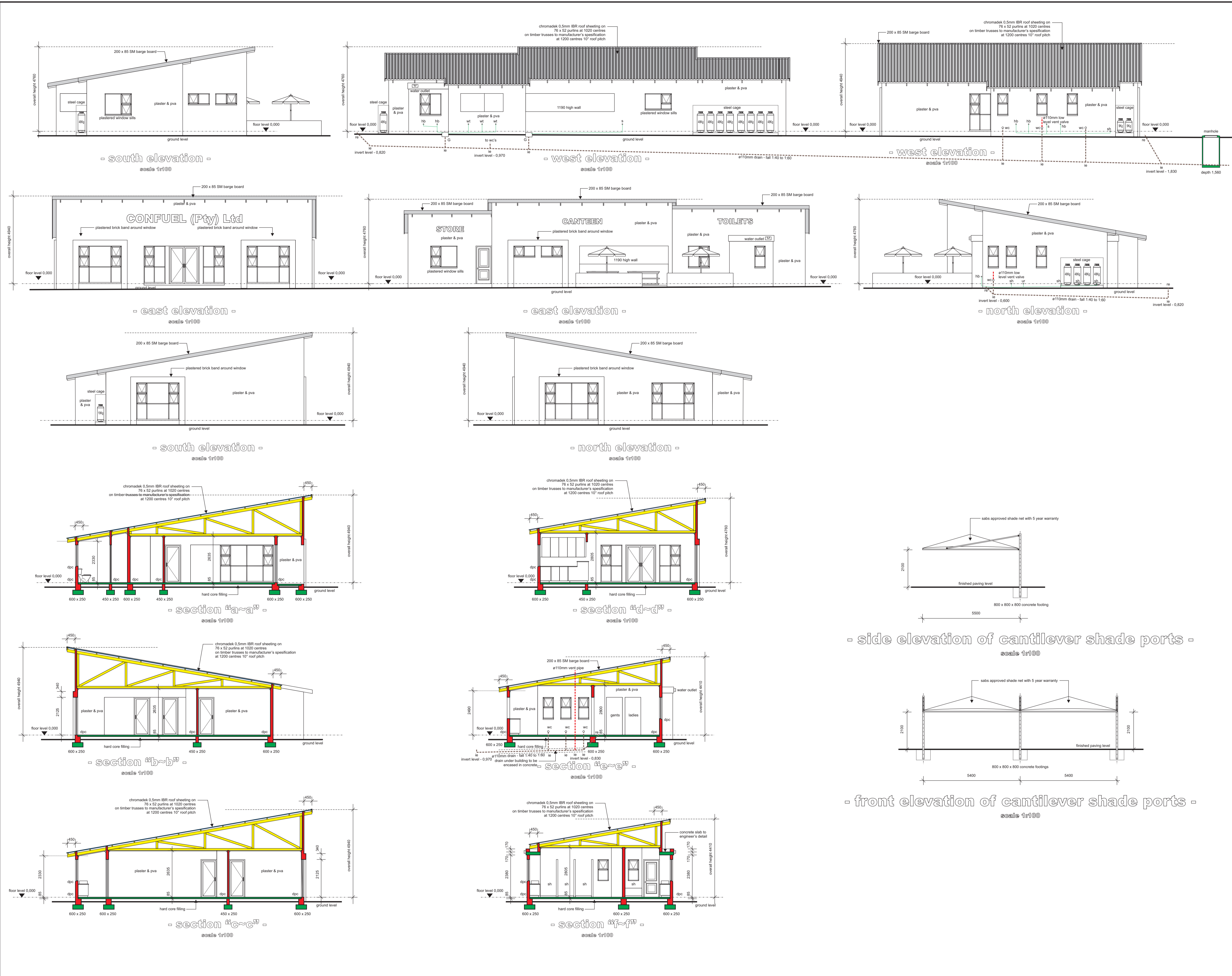
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drawn	J Keyser	scales	As Shown	drawn	August 2022
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area	description	area	description	area	description
172,64m ²	Main Office	172,64m ²	Main Office		
6,89m ²	Entrance Porch	36,69m ²	Ablution		
		14,29m ²	Laundry		
		58,77m ²	Dining Area		
		44,46m ²	Canteen		
		25,49m ²	Store		
60,25m ²	Bulk Office	69,00m ²	Porch		
8,75m ²	Guard Room	300,75m ²	Entrance Porch		
1,01m ²	Filing Station	164,84m ²	Wash Bay		
13,76m ²	Diesel Depot Office	45,30m ²	Diesel Locker Room		
13,76m ²	Diesel Depot Cov Patio	465,30m ²	Diesel Depot		
17,84m ²					
	Total Area		Total Area		1477,28m²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023
Rev 4	Tyre Store added	28 March 2023

File Name: 56 and 57 Mosselstruis - Johan Pretorius - New Truck Stop (FINAL).cdr
 Sheet 2 of 9 Sheets



GENERAL NOTES
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 Two courses of brick re-inforcing at window head height.
 Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
 Vertical dpc where required.
 Windows to be a minimum of 10% of floor area with opening sections as prescribed.
 All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
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 Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
 Provide approved seal traps to all waste fittings.
 Fall of all drain pipes to be between 1:60 and 1:40.
 Provide approved seal traps to all waste fittings.
 Provide AE at foot of all soil stacks.
 IE's to waste pipes to be fully accessible at all times.
 All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
 Pipe sizes: Soil pipes, vents & wc 110mm
 Awp 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,75m 3mm glass
 0,75 - 1,50m 4mm glass
 1,50m and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
 76 x 52 purlins.
 Roof pitch to be as shown on section.
 Roof overhang to be as shown on section.
 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
 1000mm high handrails.
 Minimum Stair Headroom to be 2100mm.
 All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
 All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
 Pool to be finished only in a Charcoal or Portland Grey colour.
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 Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
 5,5mm rhino ceiling boards - R-Value 0,045
 Approved underlay - R-Value 0,75
 135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 ON
Stands 56 and 57 Mossdustria Township
MOSSELBAY
 for
Confuel (Pty) Ltd

signature owner: _____
 signature architect: _____
 drawing
 Elevations Sections

J Keyser in association with **WF Botha**
 PrSArchT

SACAP Registration Number: **ST1177**
 PO Box 5185
 Cuckoo Park
 1601
 Cellular Numbers: J Keyser +27 62 177 8198
 WF Botha +27 82 299 4938

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drawn	scales	drawn
J Keyser	As Shown	August 2022

area	description	area	area
	Main Office	165,84m ²	172,64m ²
	Entrance Porch	8,90m ²	36,69m ²
	Abution	-	14,20m ²
	Laundry	-	58,77m ²
	Dining Area	-	44,46m ²
	Cabins	-	25,49m ²
	Store	-	69,00m ²
	Bulk Office	60,25m ²	360,75m ²
	Porch	8,75m ²	16,68m ²
	Guard Room	18,80m ²	164,84m ²
	Entrance Porch	1,01m ²	-
	Filing Station	-	-
	Wash Bay	-	-
	Diesel Depot Office	13,76m ²	-
	Diesel Locker Room	13,76m ²	-
	Diesel Depot Cov Palo	17,84m ²	-
	Diesel Depot	-	465,30m ²
	Total Area	-	1477,28m²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Max Bricks	January 2023

File Name: 56 and 57 Mossdustria - Johan Pretorius - New Truck Stop (FINAL).dwr
 Sheet 3 of 9 Sheets

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 at ground level.
 Fall of all drain pipes to be between 1:60 and 1:40.
 Provide approved reseal traps to all waste fittings.
 Provide AE at foot of all soil stacks.
 IE's to waste pipes to be fully accessible at all times.
 All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
 Pipe sizes: Soil pipes, vents & wc 110mm
 Awp 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,7m² 3mm glass
 0,75 - 1,50m² 4mm glass
 1,50m² and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
 76 x 38 wall plates.
 Roof pitch to be as shown on section.
 Roof overhang to be as shown on section.
 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
 1000mm high handrails.
 Minimum Stair Headroom to be 2100mm.
 All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
 All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
 Pool to be finished only in a Charcoal or Portland Grey colour.
 Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
 External wall colour - Earthy colours.
 All external windows and doors to be charcoal aluminium.
 Internal electrical installation to comply with SABS 0142.
 TV aerials, satellite dishes and air-conditions to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
 No Solar Geysers or Solar Panels to be visible from any street.
 900mm wide grey cement paving around buildings to prevent erosion from rain water.
 Staining and/or sealing to external timber doors - Natural wood colour.
 Colour/finish of any exposed timber - Treated with Carbolinium.
 All Buildings to be built in accordance with the approved building plans.
 Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
 5,5mm rhino ceiling boards - R-Value 0,045
 Approved underlay - R-Value 0,75
 135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 on
Stands 56 and 57 Moseadustria Township
MOSSELBAY
 for
CONFUEL (Pty) Ltd

signature owner: _____

signature architect: _____

drawing
 Guard House

J Keyser in association with **WIF Botha**
 PrSArchT

SACAP Registration Number: **ST1277**
 PO Box 5185
 Cuckoo Park
 1463
 Cellular Numbers: J Keyser +27 62 177 8198
 Wif Botha +27 63 299 4936

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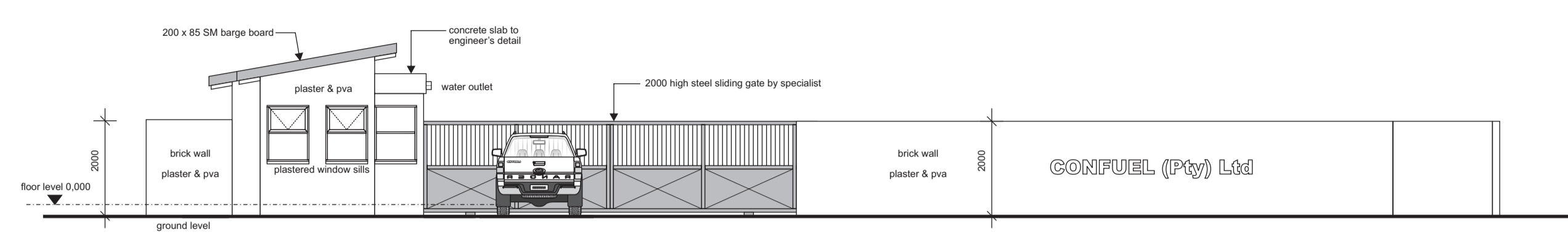
drawn	scales	drawn
J Keyser	As Shown	August 2022

area	Main Office	Entrance Porch	Abution	Laundry	Dining Area	Cubicles	Store	TV Office	Porch	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Locker Room	Diesel Depot Cov Pado	Diesel Depot
	165,84m ²	8,90m ²	172,64m ²	36,69m ²	14,20m ²	58,77m ²	44,46m ²	25,49m ²	69,00m ²	19,69m ²	360,75m ²	164,84m ²	45,30m ²	13,76m ²	17,84m ²	465,30m ²	
Total Area			1477,28m²														

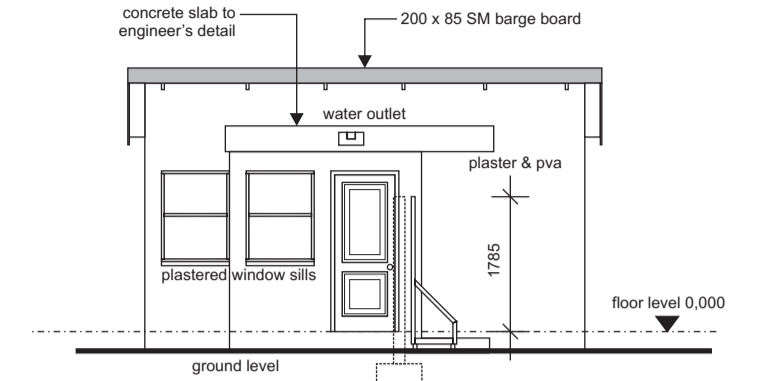
Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Max Bricks	January 2023

File Name:
 56 and 57 Moseadustria - Johan Pretorius - New Truck Stop
 (FINAL).cdt

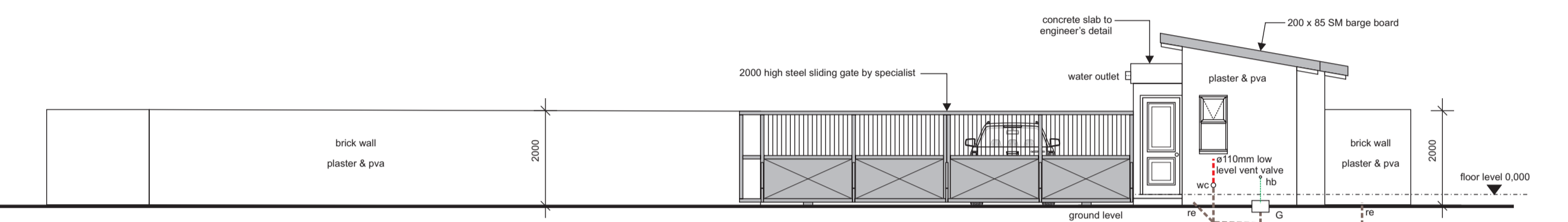
Sheet 4 of 9 Sheets



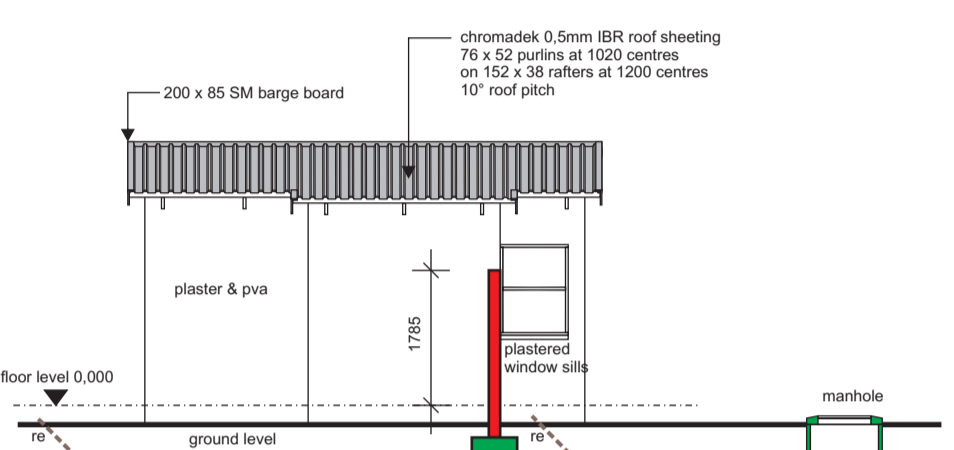
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 scale 1:100



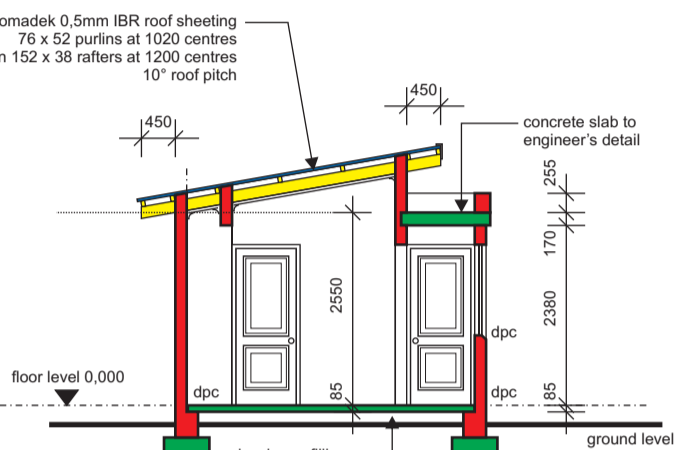
- east elevation -
 scale 1:100



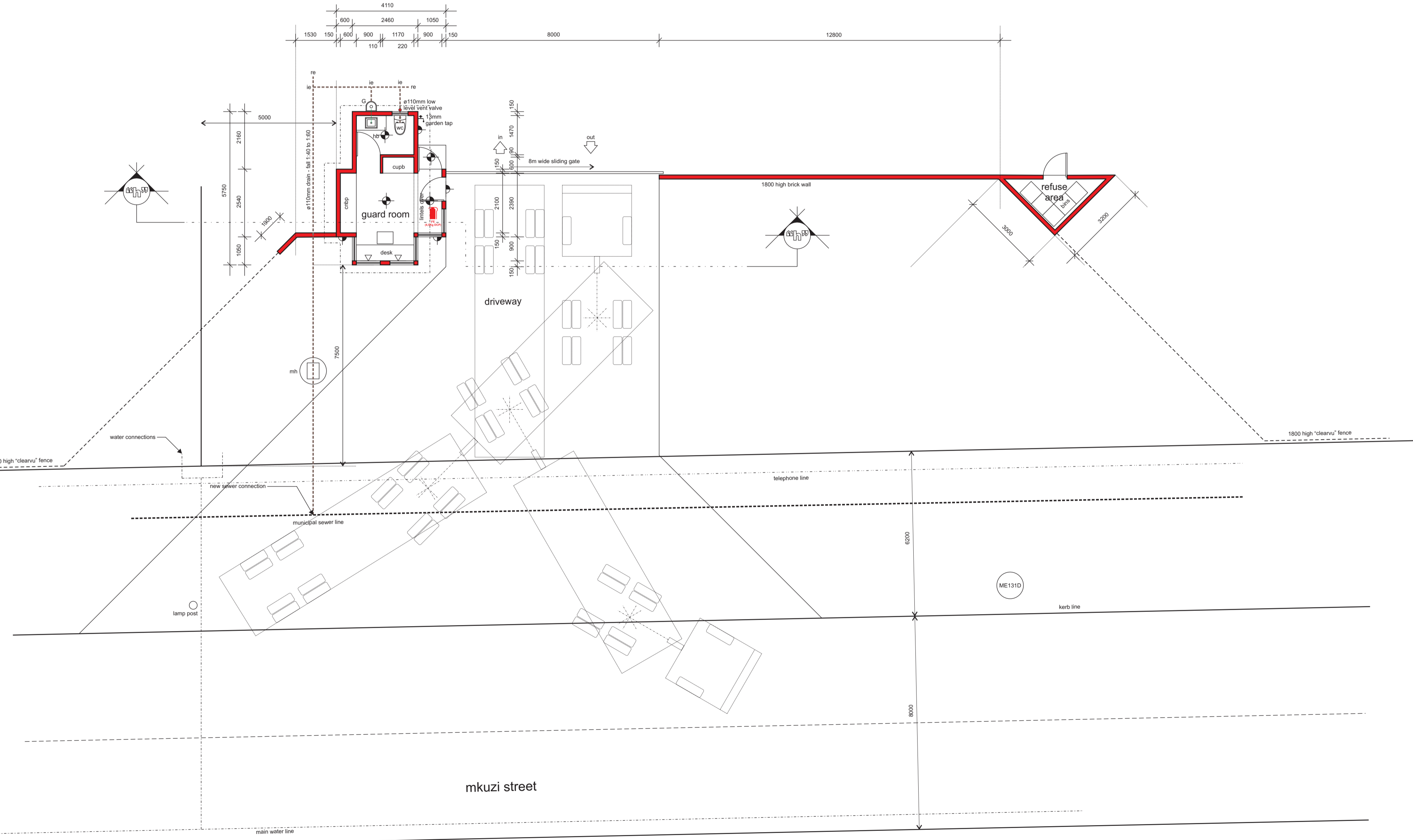
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 scale 1:100



- west elevation -
 scale 1:100

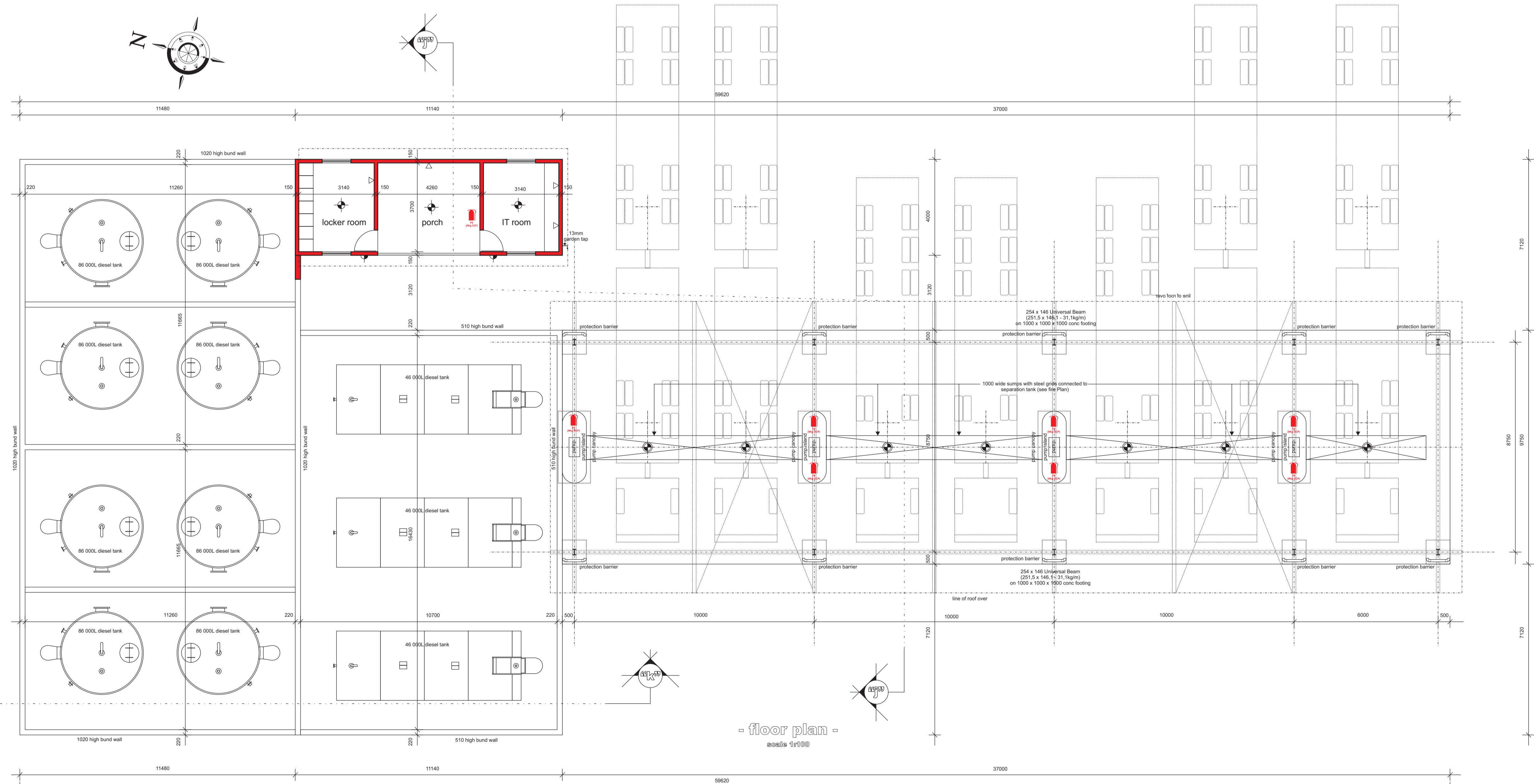
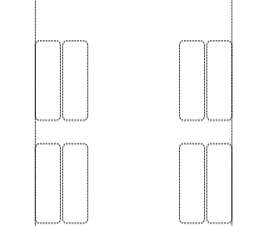
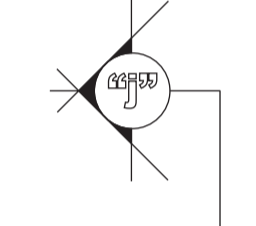
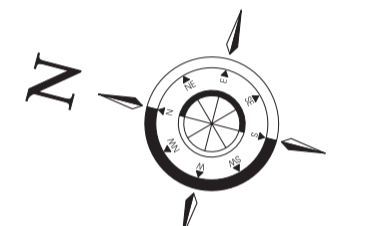
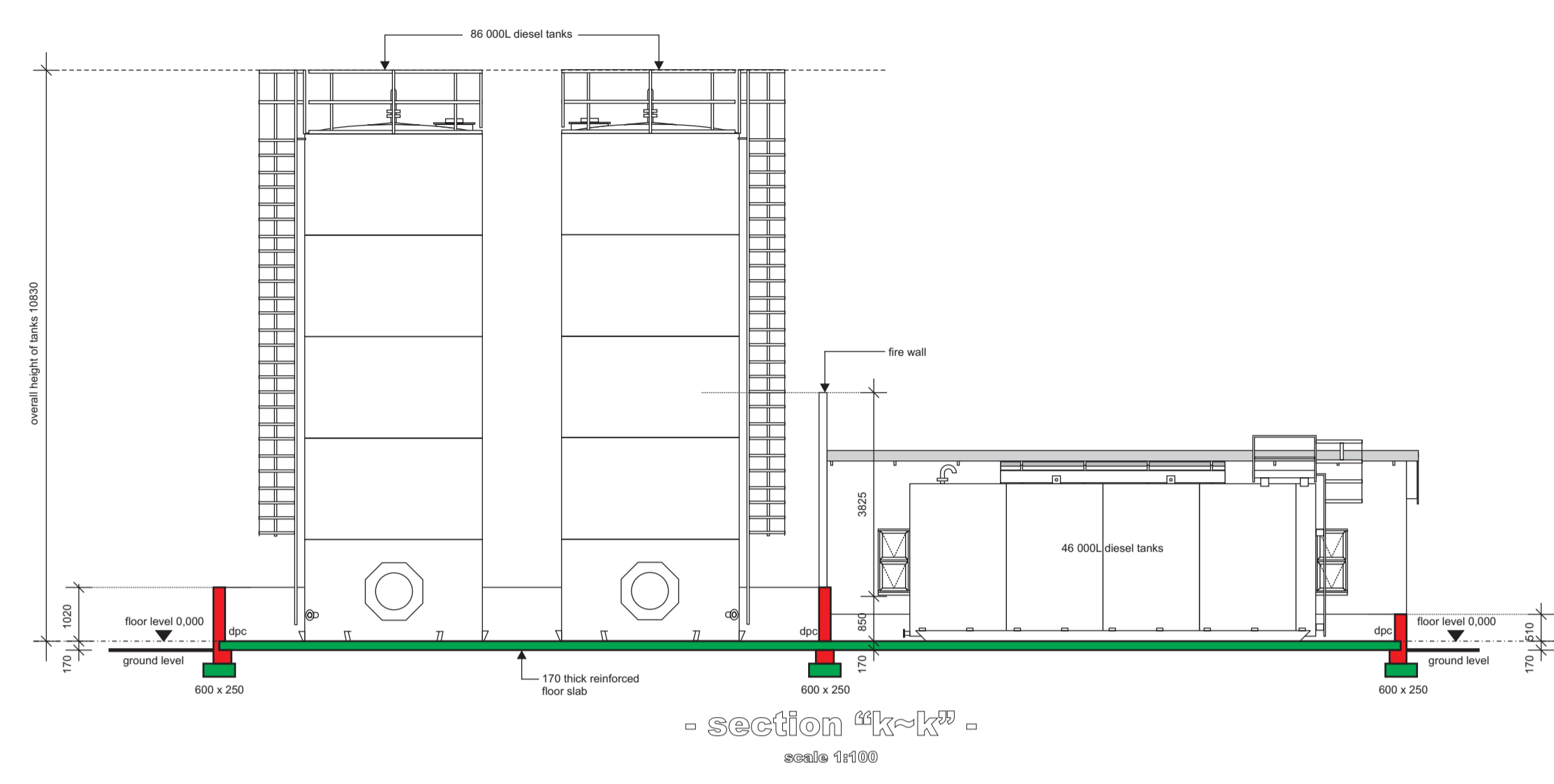
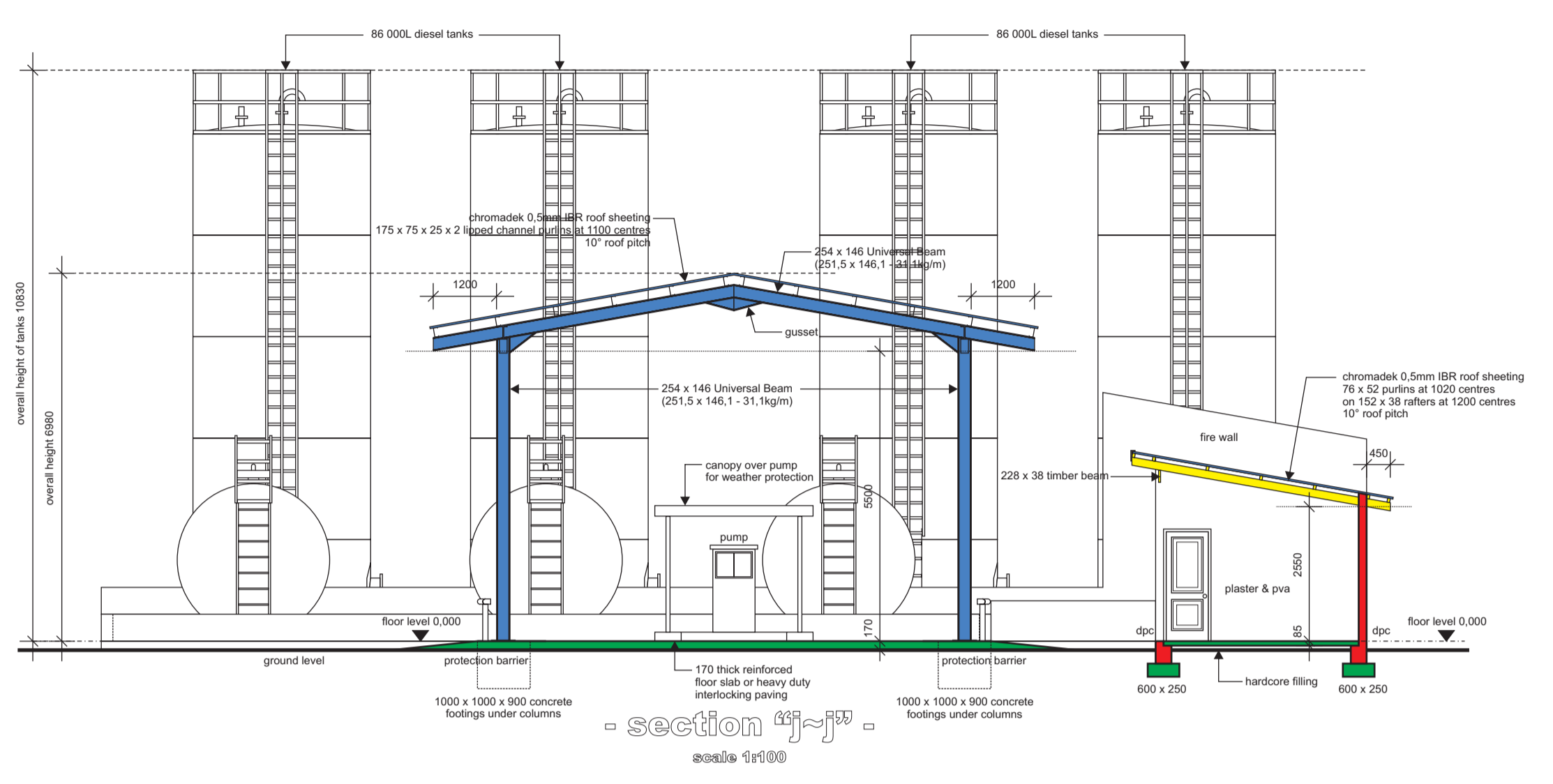


- section 'h-h' -
 scale 1:100



- floor plan -
 scale 1:100

ME131C



GENERAL NOTES
All work to be in accordance with the National Building Regulations and the Local By-laws.
Any errors, discrepancies or omissions are to be reported immediately.
All levels, dimensions and steps are to be checked and verified on site before commencement of any work.
Work to figured dimension only - drawings are not to be scaled.
Foundations to boundary walls are not to encroach any boundaries.
All electrical and plumbing work are to be carried out by registered tradesmen.
Brick re-inforcing to be installed every 5th course in brickwork.
Two courses of brick re-inforcing at window head height.
Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
Vertical dpc where required.
Windows to be a minimum of 10% of floor area with opening sections as prescribed.
All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
Minimum depth of sewer to be 500mm.
All plumbing and drainage work and installation of sanitary fittings to comply to the relevant Local Authority by-laws, regulations and requirements.
Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
at ground level.
Fall of all drain pipes to be between 1:60 and 1:40.
Provide approved reset traps to all waste fittings.
Provide AE at foot of all soil stacks.
IE's to waste pipes to be fully accessible at all times.
All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
Pipe sizes: Soil pipes, vents & wc 110mm
Aewp 50mm
Bath, shower and wash troughs 38mm
Basins and bidets 32mm

GLAZING NOTES
Under 0,75m² 3mm glass
0,75 - 1,50m² 4mm glass
1,50m² and above 6mm glass
All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
Sheeted Roofs
0,5 m thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
76 x 38 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
200 x 80 SM barge boards - same as roof colour.
900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
All risers to be 170mm.
All treads to be 300mm.
1000mm high balustrades.
1000mm high handrails.
Minimum Stair Headroom to be 2100mm.
All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
Pool to be finished only in a Charcoal or Portland Grey colour.
Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
External wall colour - Earthy colours.
All external windows and doors to be charcoal aluminium.
Internal electrical installation to comply with SABS 0142.
TV aerials, satellite dishes and air-conditions to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
No Solar Geysers or Solar Panels to be visible from any street.
900mm wide grey cement paving around buildings to prevent erosion from rain water.
Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinum.
All Buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
5,5mm rhino ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mossaditria Township
MOSSELBAY
for
Confuel (Pty) Ltd

signature owner: _____
signature architect: _____

drawing
Fueling Station Plan & Sections

J Keyser in association with **WJF Botha**
PrSArchT

SACAP Registration Number: **ST1177**
Cellular Numbers: J Keyser +27 62 177 8198
WJF Botha +27 63 298 4936

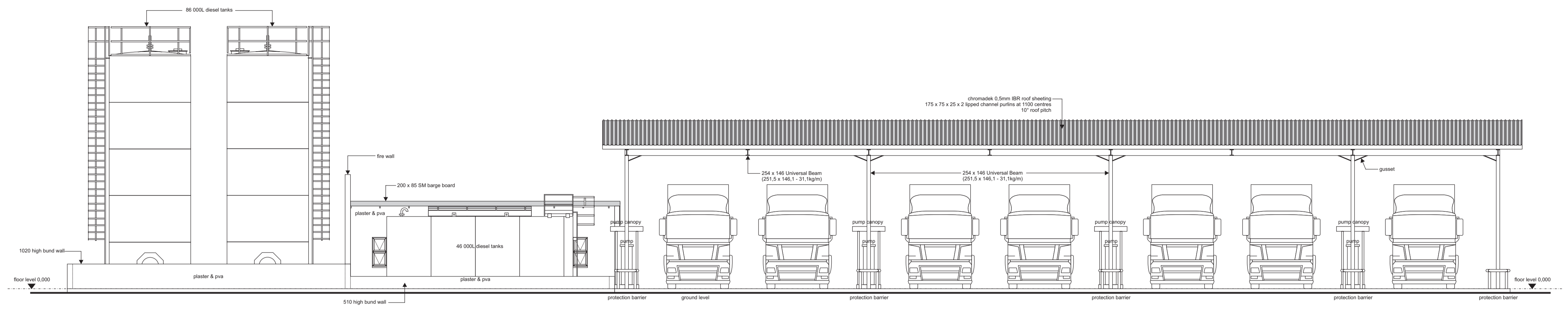
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drawn	scales	drawn
J Keyser	As Shown	August 2022

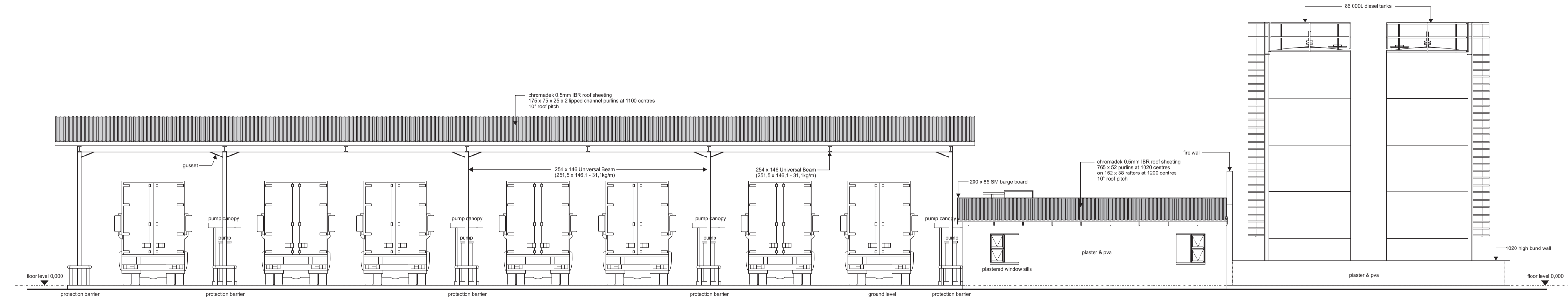
area	Main Office	Entrance Porch	Abution	Laundry	Dining Area	Cabaret	Store	Bulk Office	Porch	Guard Room	Entrance Porch	Filling Station	Wash Bay	Diesel Depot Office	Diesel Depot Cov Pado	Diesel Depot	Total Area
	165,84m ²	8,90m ²	172,64m ²	36,69m ²	14,20m ²	58,77m ²	44,46m ²	25,49m ²	60,25m ²	6,75m ²	1,01m ²	360,75m ²	19,69m ²	13,76m ²	17,84m ²	45,30m ²	1477,28m ²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Mat Bricks	January 2023

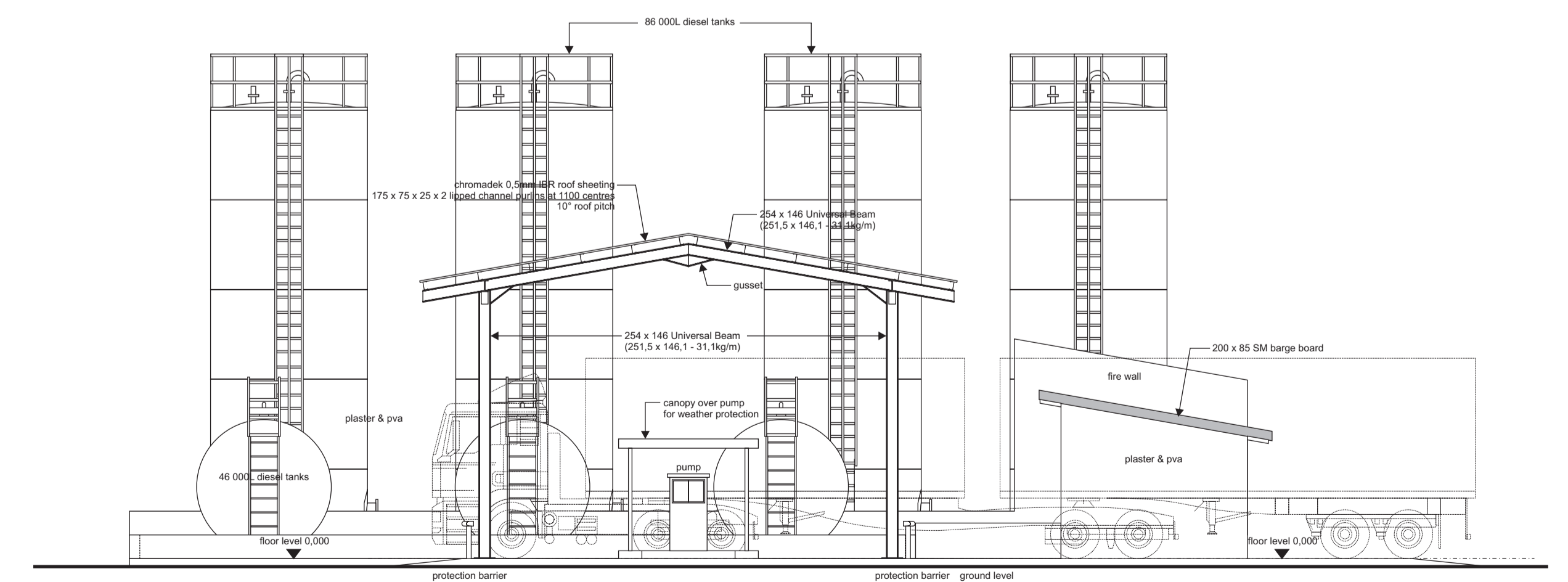
File Name: 56 and 57 Mossaditria - Johan Pretorius - New Truck Stop (FINAL).dwt
Sheet 5 of 9 Sheets



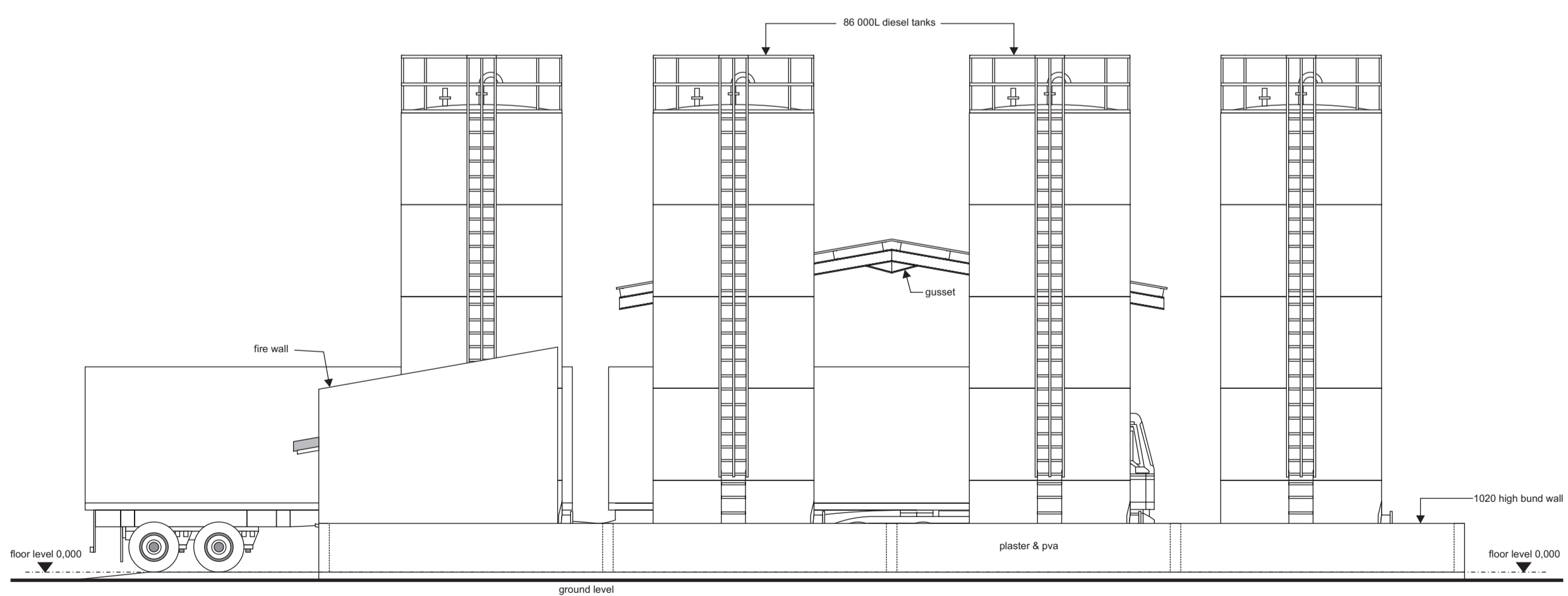
- west elevation -
scale 1:100



- east elevation -
scale 1:100



- south elevation -
scale 1:100



- north elevation -
scale 1:100

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Two courses of brick re-inforcing at window head height.
Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
Vertical dpc where required.
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All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
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Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
at ground level.
Fall of all drain pipes to be between 1:60 and 1:40.
Provide approved reseal traps to all waste fittings.
Provide AE at foot of all soil stacks.
IES to waste pipes to be fully accessible at all times.
All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
Pipe sizes: Soil pipes, vents & wc 110mm
Awp 50mm
Bath, shower and wash troughs 38mm
Basins and bidets 32mm

GLAZING NOTES
Under 0.75m² 3mm glass
0.75 - 1.50m² 4mm glass
1.50m² and above 6mm glass
All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
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0.5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
76 x 38 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
200 x 80 SM barge boards - same as roof colour.
900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
All risers to be 170mm.
All treads to be 300mm.
1000mm high balustrades.
1000mm high handrails.
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CHIMNEYS
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POOLS
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Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinum.
All Buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
5.5mm rhino ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
150mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mosselbaai Township
MOSELBAAI
for
Confutal (Pty) Ltd

signature owner: _____ date _____

drawing
Fueling Station Elevations

J Keyser in association with **WJF Botha**
PrSArchT

SACAP Registration Number: **ST1277**
PO Box 5185
Cock Park
1601
Cellular Numbers: J Keyser +27 62 177 8198
WJF Botha +27 83 289 4938

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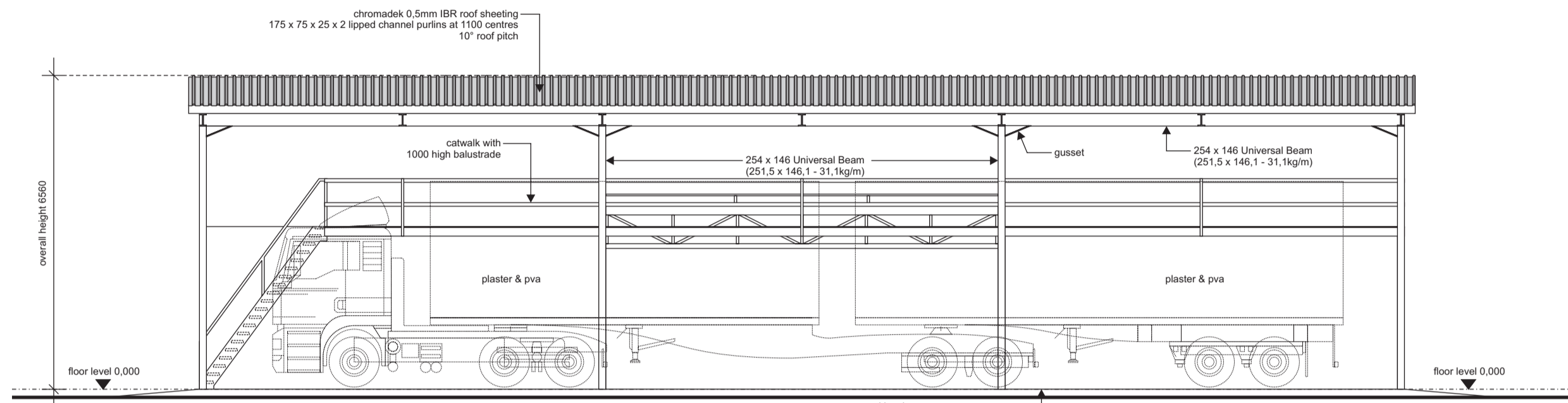
drawn	scales	drawn
J Keyser	As Shown	August 2022

area			
Main Office	-	165,84m ²	-
Entrance Porch	-	8,90m ²	-
Abution	-	-	172,64m ²
Laundry	-	-	36,69m ²
Dining Area	-	-	14,20m ²
Cafeteria	-	-	58,77m ²
Store	-	-	44,46m ²
Bulk Office	-	60,25m ²	-
Porch	-	8,75m ²	-
Guard Room	-	16,68m ²	-
Entrance Porch	-	1,01m ²	-
Filling Station	-	-	360,75m ²
Wash Bay	-	-	19,69m ²
Diesel Depot Office	-	13,76m ²	-
Diesel Locker Room	-	13,76m ²	-
Diesel Depot Cov Pado	-	17,84m ²	-
Diesel Depot	-	-	45,30m ²
			465,30m ²
			1477,28m ²

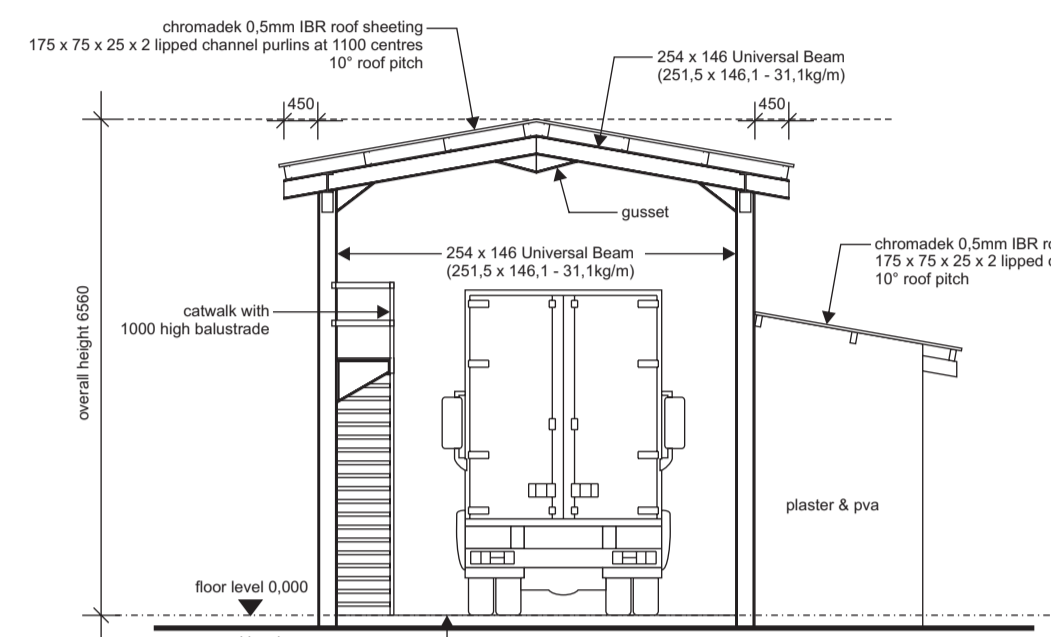
Rev 1	Fire Plan added	Date	22 August 2022
Rev 2	Locker Room/IT Room added	Date	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	Date	January 2023

File Name:
56 and 57 Mosselbaai - Johan Pretorius - New Truck Stop
(FINAL).dxf

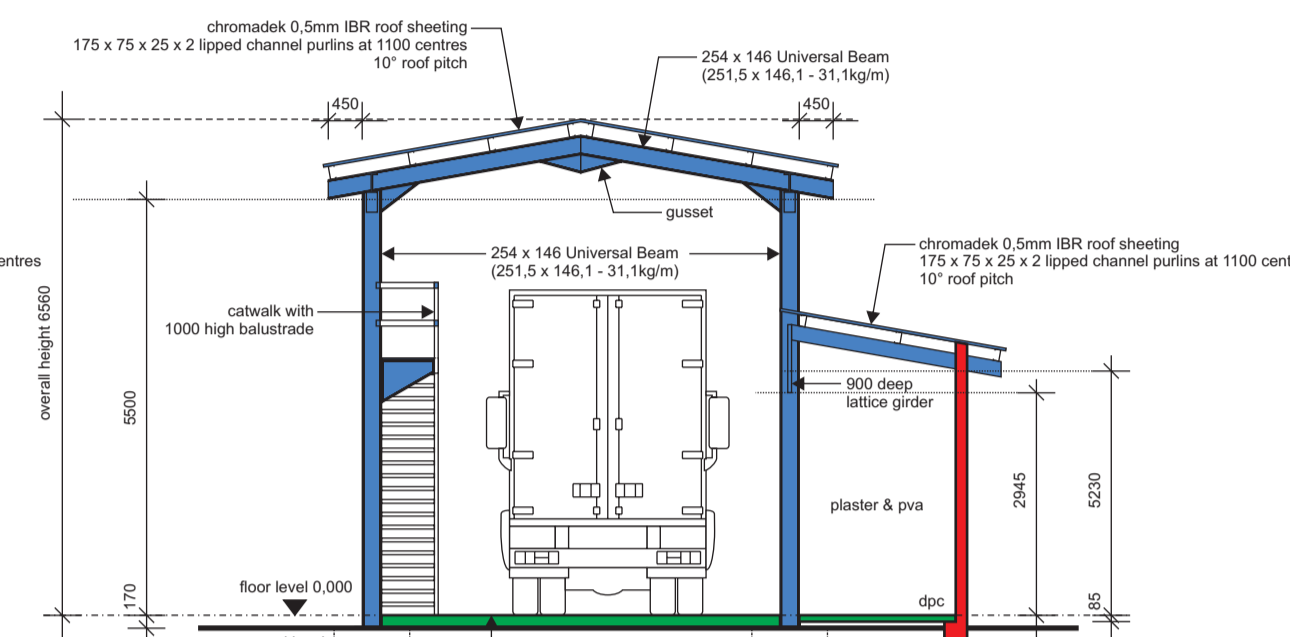
Sheet 6 of 9 Sheets



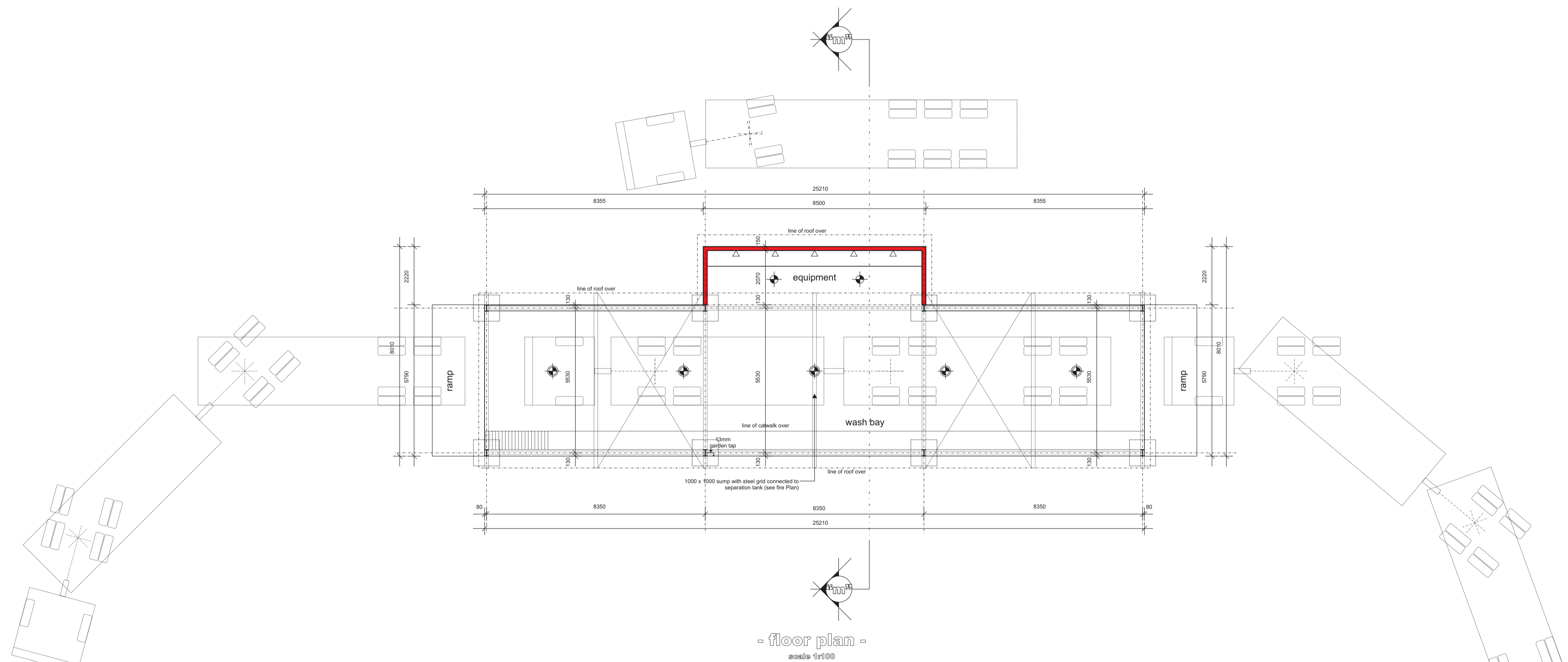
- south elevation -
scale 1:100



- east elevation -
scale 1:100



- section 'm-m' -
scale 1:100



- floor plan -
scale 1:100

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75 x 35 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
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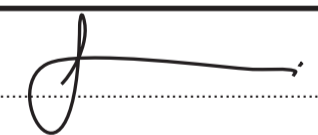
UTILITY NOTES
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PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Moesdustria Township
MOSSELBAY
for
Confutal (Pty) Ltd

signature owner: _____

signature architect: 

drawing
Wash Bay

J Keyser in association with **WJF Botha**
PrSArchT

SACAP Registration Number: **ST1277**
PO Box 5185
Cock Park
1401
Cellular Numbers: J Keyser +27 62 177 8198
WJF Botha +27 63 299 4938

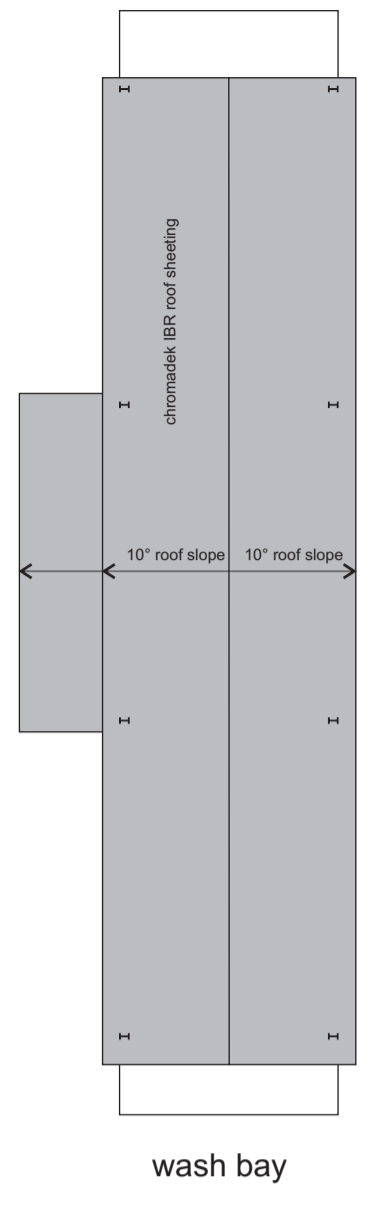
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drawn	scales	drawn
J Keyser	As Shown	August 2022

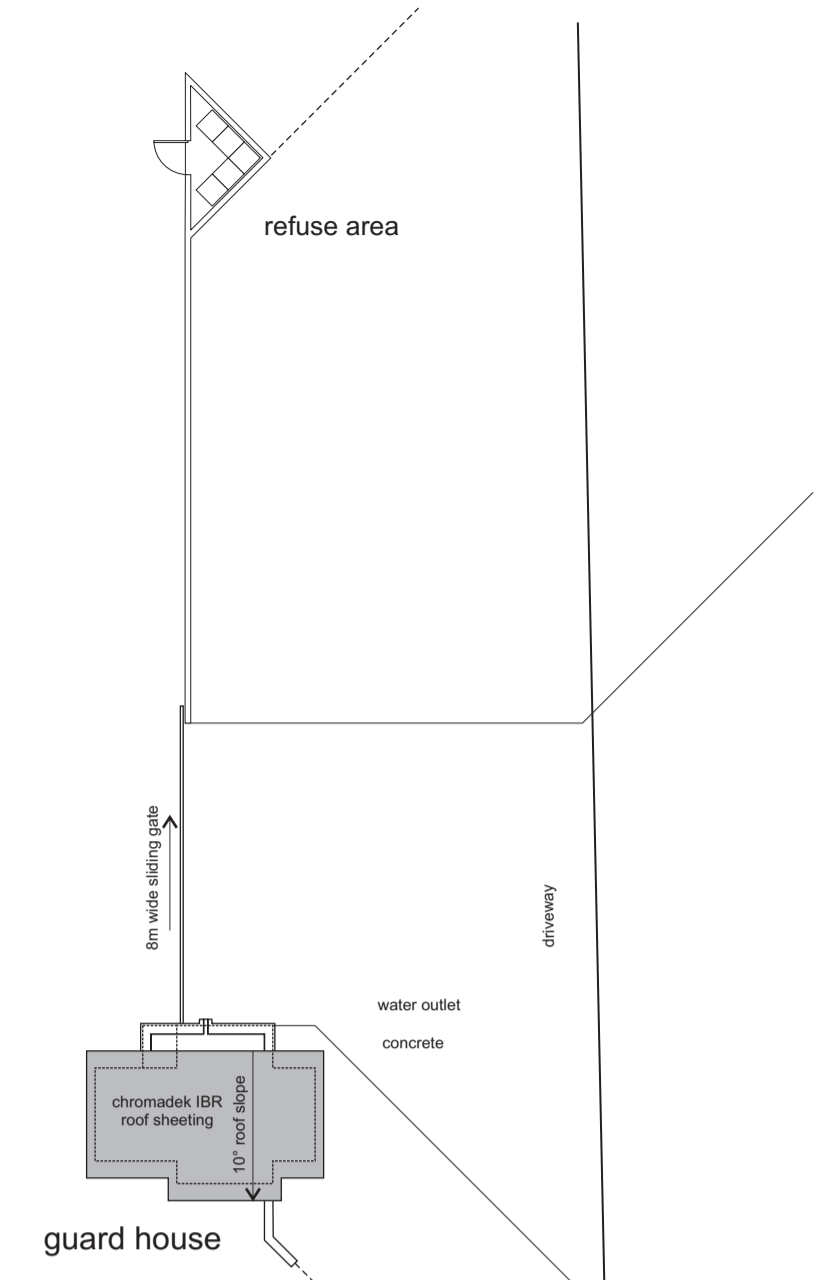
area	Main Office	Entrance Porch	Abution	Laundry	Dining Area	Catwalks	Store	Bulk Office	Porch	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Locker Room	Diesel Depot Cov Pado	Diesel Depot	Total Area	
	-	165.84m ²	8.90m ²	-	-	-	-	60.25m ²	8.75m ²	18.68m ²	1.01m ²	-	164.84m ²	13.76m ²	13.76m ²	17.84m ²	45.30m ²	465.30m ²	1477.28m ²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
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Rev 3	Tank Sizes reduced/Wall thickness reduced using Max Bricks	January 2023

File Name: 56 and 57 Moesdustria - Johan Pretorius - New Truck Stop (FINAL).dwt
Sheet 7 of 9 Sheets



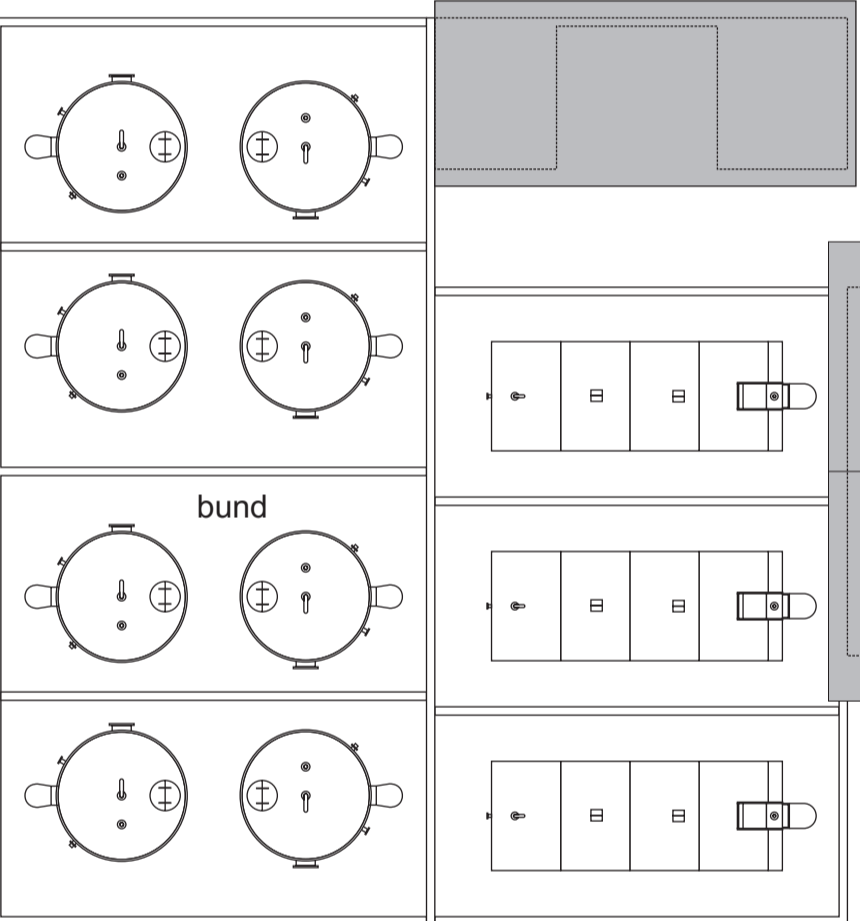
wash bay



guard house

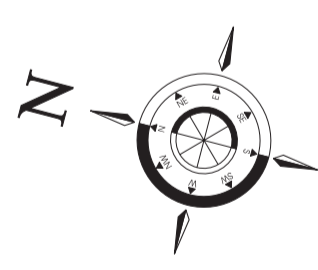
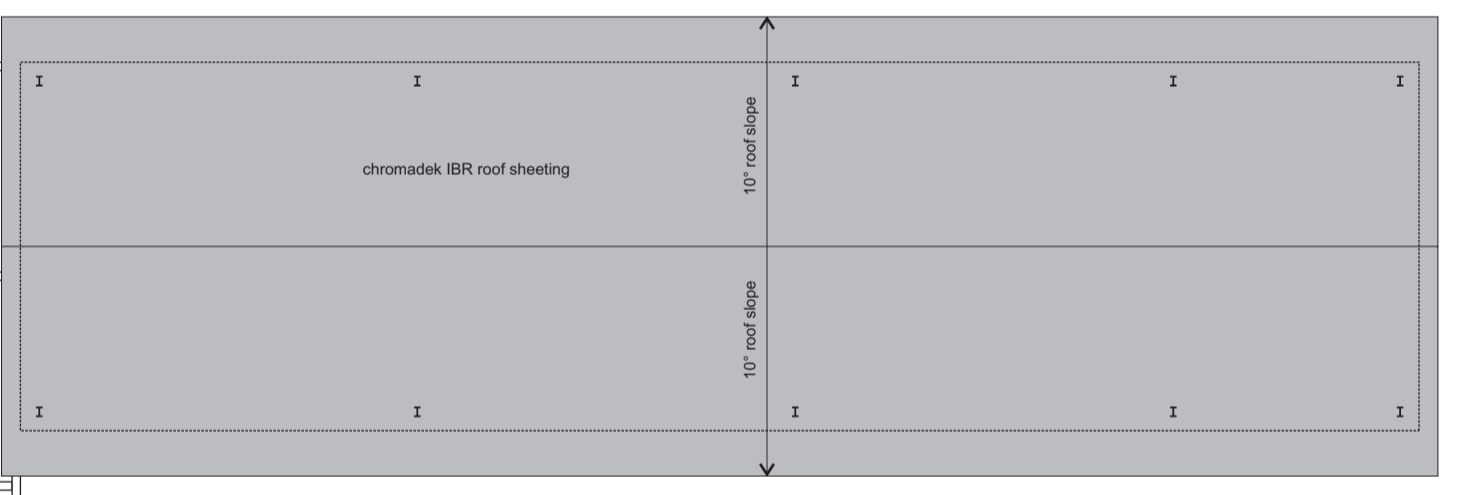
1800 high fence with 6000 wide gate

office

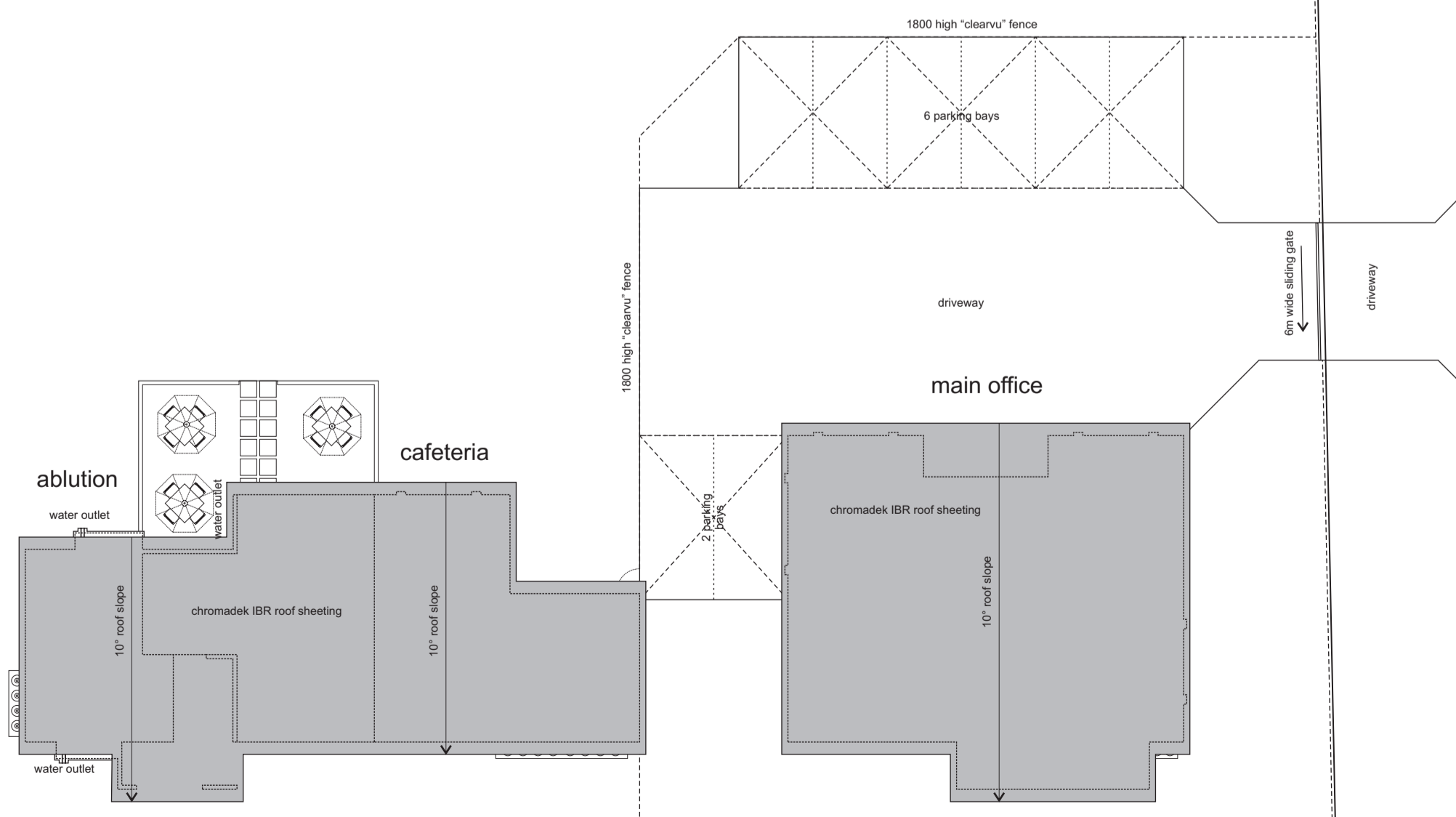
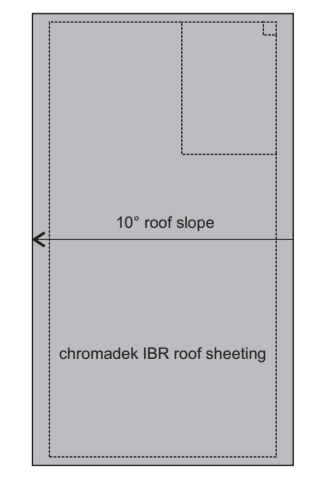


bund

fueling station



bulk office



main office

ablution

cafeteria

- roof plan -
scale 1:500

GENERAL NOTES
All work to be in accordance with the National Building Regulations and the Local By-laws.
Any errors, discrepancies or omissions are to be reported immediately.
All levels, dimensions and steps are to be checked and verified on site before commencement of any work.
Work to figured dimension only - drawings are not to be scaled.
Foundations to boundary walls are not to encroach any boundaries.
All electrical and plumbing work are to be carried out by registered tradesmen.
Brick re-inforcing to be installed every 5th course in brickwork.
Two courses of brick re-inforcing at window head height.
Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
Vertical dpc where required.
Windows to be a minimum of 10% of floor area with opening sections as prescribed.
All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
Minimum depth of sewer to be 500mm.
All plumbing and drainage work and installation of sanitary fittings to comply to the relevant Local Authority by-laws, regulations and requirements.
Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
at ground level.
Fall of all drain pipes to be between 1:60 and 1:40.
Provide approved reseal traps to all waste fittings.
Provide AE at foot of all soil stacks.
IE's to waste pipes to be fully accessible at all times.
All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
Pipe sizes: Soil pipes, vents & wc 110mm
Aewp 50mm
Bath, shower and wash troughs 38mm
Basins and bidets 32mm

GLAZING NOTES
Under 0,75m² 3mm glass
0,75 - 1,50m² 4mm glass
1,50m² and above 6mm glass
All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
Sheeted Roofs
0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
76 x 38 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
200 x 80 SM barge boards - same as roof colour.
900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
All risers to be 170mm.
All treads to be 300mm.
1000mm high balustrades.
1000mm high handrails.
Minimum Stair Headroom to be 2100mm.
All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
Pool to be finished only in a Charcoal or Portland Grey colour.
Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
External wall colour - Earthy colours.
All external windows and doors to be charcoal aluminium.
Internal electrical installation to comply with SABS 0142.
TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
No Solar Geysers or Solar Panels to be visible from any street.
900mm wide grey cement paving around buildings to prevent erosion from rain water.
Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinium.
All Buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
5,5mm rhino ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Moesdustria Township
MOSSELBAY
for
Confuel (Pty) Ltd

signature owner: _____
signature architect: _____

drawing
Roof Plan

J Keyser in association with **WJF Botha**
PrSArchT

SACAP Registration Number: **ST1177**
PO Box 5185
Cock Park
1601
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WJF Botha +27 63 298 4938

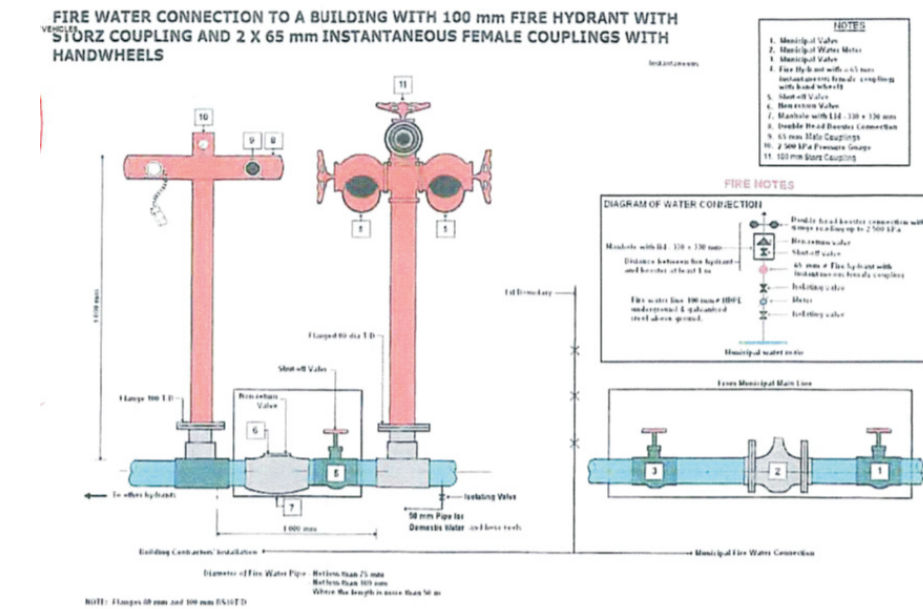
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drawn	scales	drawn
J Keyser	As Shown	August 2022

area	Main Office	Entrance Porch	Ablution	Laundry	Dining Area	Cafeteria	Store	Bulk Office	Porch	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Locker Room	Diesel Depot Cov Pab	Diesel Depot	Total Area
	165,84m ²	8,90m ²	172,64m ²	36,69m ²	14,20m ²	58,77m ²	44,46m ²	25,49m ²	69,00m ²	18,68m ²	1,01m ²	360,75m ²	164,84m ²	13,76m ²	13,76m ²	17,84m ²	465,30m ²	1477,28m ²

Rev 1	Fire Plan added	Date	22 August 2022
Rev 2	Locker Room/IT Room added	Date	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	Date	January 2023

File Name: 56 and 57 Moesdustria - Johan Pretorius - New Truck Stop (FINAL).dwt
Sheet 8 of 9 Sheets



- FIRE NOTES ON ABOVE - GROUND DIESEL TANKS:**
- All work to comply with Act 103 of 1977, SANS 10400 - 2020, SANS 10131, SANS 10089 and the local fire department by-laws.
 - Tanks to be installed in accordance with SANS 10131 and SANS 10089 and associated SANS codes included in the before-mentioned codes for open air bulk fuel storage.
 - Tanks to be separated 1.5m from each of tank and each tank from bund wall.
 - The bund area to be filled with Kotze (crushed stones 32mm x 250mm high).
 - All bunds capable of containing the contents of the largest tank plus 10% - see bund calculations.
 - A 100mm water ring main to be provided with a double head booster connection, an isolation valve, non return valve and one head fire hydrant at the main entrance complying with SANS 1128.
 - The rest of the premises to be provided with 3 x double head fire hydrants and 2 x single head fire hydrants complying with SANS 1128.
 - Two x foam platforms consisting each with one x cascating foam monitor, automatic self induction foam system. The monitor capable of providing 4800 litres foam solution at 3%-6%, 5 x 200 litre AFFP foam concentrate drums.
 - Each hydrant to be provided with a hose box, 2 x 23m fire hoses and branch complying with SANS 1128.
 - Two x 50 litre foam trolleys to be provided, one on each of foam platform complying with SANS 1910 or SANS 1151 and SANS 11601.
 - All buildings on site to be equipped with 30m FHR at a rate of 1 per 500m² complying with SANS 543.
 - Fire extinguishers to be provided for offices (1 occupation) at 1 per 200m² complying with SANS 10105-1. Must be hung on purpose made brackets on backing boards or in cabinets if outside.
 - Lighting conductor to be provided complying with SANS 10113 and SANS 62305-3.
 - Tanks to be sited in compliance with SANS 10089 and SANS 10123.
 - All electrical equipment on site to be Zone 2 and complying with SANS 10106, SANS 10088 and SANS 10142.
 - The filling point shall be so located that the tanker is able to leave the premises without having to reverse and a driver can park safely when deliveries are being made. When limited access prevents tankers from parking or entering the premises, filler sites shall be designed by the engineering professional to accommodate them and complying with SANS 10089-1. All filling points on tanks shall be clearly identified to indicate the type of petroleum that the tank holds and the capacity of the tank. The installation of submersible pumps, dispensers and suction pumps shall be in accordance with SANS 10089-3.
 - All escape routes and fire equipment to be indicated with appropriate insignia complying with SANS 1186.
 - Evacuation plans and procedures to be drawn up.
 - Provisioning of water supply to comply with SANS 10400 T-section, W-section and SANS 10252.

FIRE PROTECTION & INSTALLATION

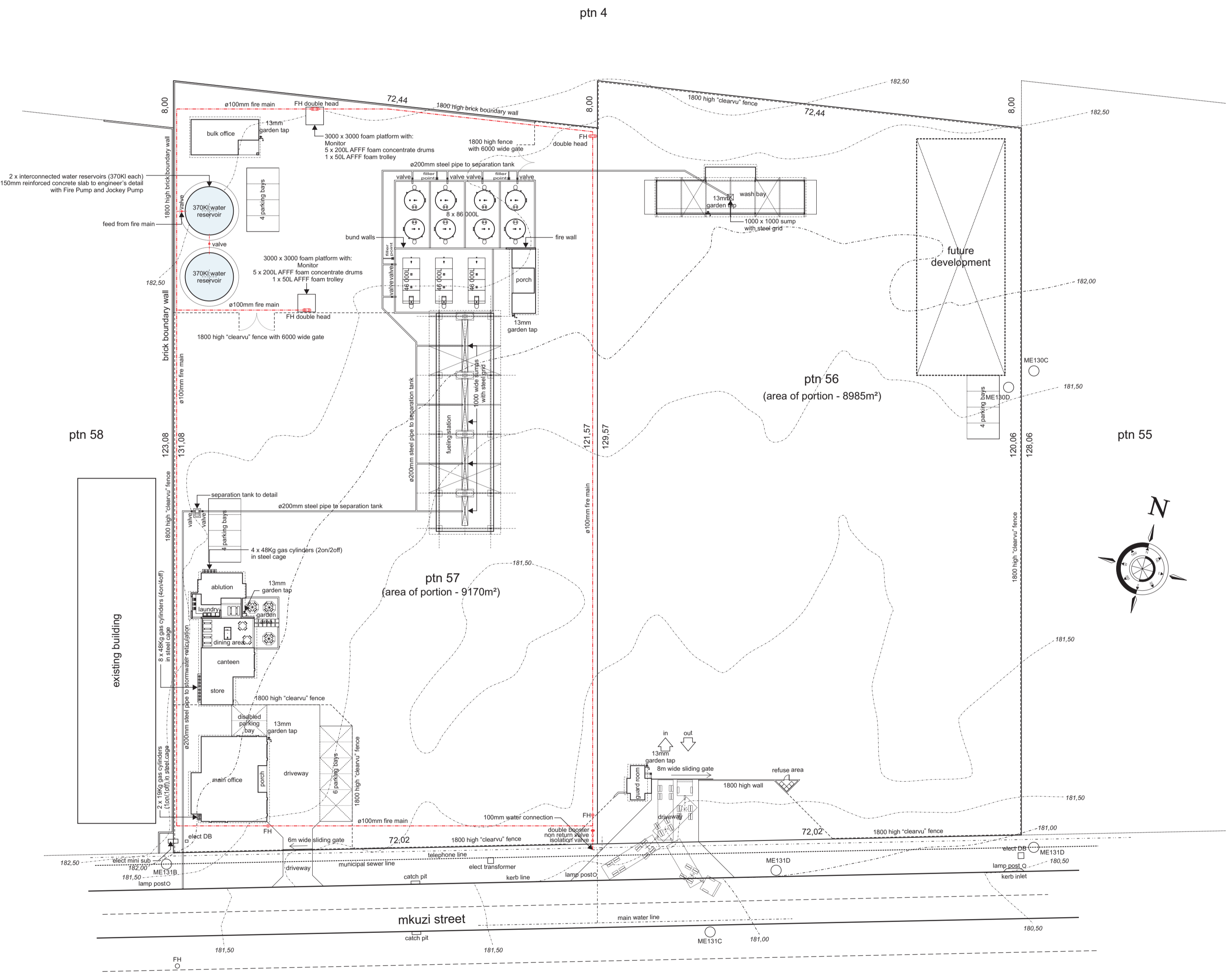
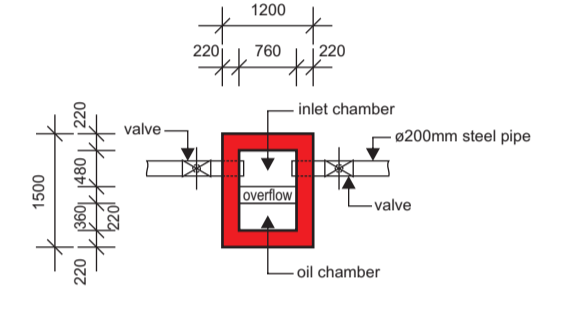
REFERENCE

- Fire Extinguisher (8Kg Dry Chemical Powder)
- Fire Extinguisher (4.5Kg Dry Chemical Powder)
- Fire Extinguisher (10Kg Carbon Dioxide)
- Fire Extinguisher (5Kg Carbon Dioxide)
- 30m Hose Reel
- Escape Route
- Double Headed Fire Hydrant (FH)
- Fire Hydrant (FH)
- Double Booster
- Non Return Valve
- Isolation Valve
- 13mm garden tap - 6

- NOTES ON THE LPG INSTALLATION AREAS:**
- No LPG gas may be supplied or used until the installation is registered with the local emergency services.
 - This LPG gas installation to comply with SANS 10087 part 1 and local emergency services by-laws at all times.
 - All signage and danger notices must be displayed and comply with SANS 1186.
 - All safety distances must comply with SANS 10087.
 - Area of at three metres around the cage must be kept clear of combustible materials.
 - 2 x 8Kg dry powder Fire Extinguishers must be supplied next to the LPG gas storage area, complying with SANS 810.
 - All related electrical work must comply with SANS 10108.
 - Building work to comply with SANS 10400 requirements.
 - Cylinders to be housed in an expanded metal cage - see plan for details.
 - A certificate of compliance on LPG gas installation to be provided by a competent person.

Bunds All floor slopes including bunds to be 1:100 to sumps and bund drainage points. All bund outlets to have lockable steel gate valves. Filler Points in 500 x 500 x 500 drain connected to ø200mm steel pipe to separation tank.

- separation tank detail -
scale 1:100



- site plan -
scale 1:500

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mossdustralia Township
MOSSLEBAY
for
Confuel (Pty) Ltd

signature owner: _____
signature architect: _____
drawing
Fire Plan

J Keyser in association with **WJF Botha**
PrArchT

SACAP Registration Number: **ST1277**
PO Box 5183
Coca Park
1401
Cellular Numbers: J Keyser +27 62 177 8198
WJF Botha +27 63 298 4838

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drawn	scales	drawn
J Keyser	As Shown	August 2022

area	description	area	area
	Main Office	165,84m ²	172,64m ²
	Entrance Porch	8,90m ²	36,69m ²
	Abution	-	14,20m ²
	Laundry	-	58,77m ²
	Dining Area	-	44,46m ²
	Cabins	-	25,49m ²
	Store	-	69,00m ²
	Bulk Office	60,25m ²	19,69m ²
	Porch	8,75m ²	300,75m ²
	Guard Room	1,01m ²	164,84m ²
	Entrance Porch	-	45,30m ²
	Filling Station	-	17,84m ²
	Wash Bay	-	13,76m ²
	Diesel Depot Office	-	13,76m ²
	Diesel Locker Room	-	17,84m ²
	Diesel Depot Cov Palo	-	465,30m ²
	Diesel Depot	-	1477,28m ²
	Total Area		

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maz Bricks	January 2023
Rev 4	Tyre Store added	28 March 2023

File Name: 56 and 57 Mossdustralia - Johan Pretorius - New Truck Stop (FINAL).cdr
Sheet 9 of 9 Sheets



- site development plan -
scale 1:500

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Provide AE at foot of all soil stacks.
IES to waste pipes to be fully accessible at all times.
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Pipe sizes: Soil pipes, vents & wc 110mm
Asew 50mm
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Under 0,75m² 3mm glass
0,75 - 1,50m² 4mm glass
1,50m² and above 6mm glass
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200 x 80 SM barge boards - same as roof colour.
900 wide paved strip around perimeter of dwelling.

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Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
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POOLS
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Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
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Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinium.
All Buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
5,5mm rhino ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Moesustria Township
MOSSELBAY
for
Confuel (Pty) Ltd

signature owner: _____
signature architect: _____
drawing
Site Development Plan
Coverage Schedule

J Keyser in association with **WIF Botha**
PrSArchT

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drawn
J Keyser
scales
As Shown
drawn
February 2023

area	Main Office	Entrance Porch	Abution	Laundry	Dining Area	Cafeteria	Store	Bulk Office	Porch	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Locker Room	Diesel Depot Cov Palo	Diesel Depot
	-	165,84m ²	-	8,90m ²	-	-	-	60,25m ²	8,75m ²	18,68m ²	1,01m ²	-	-	13,76m ²	13,76m ²	17,84m ²	-
	-	-	172,64m ²	-	36,69m ²	44,46m ²	25,49m ²	-	69,00m ²	-	19,69m ²	360,75m ²	164,84m ²	-	-	-	-
Total Area	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	1477,28m²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Max Bricks	January 2023

File Name: 56 and 57 Moesustria - Johan Pretorius - New Truck Stop (SDP).cdr
Sheet 1 of 1 Sheet

Schedule of Rights

Use Zone	Industry Zone 2	Permissible	Actual
Site Area	18155m ²		
Coverage (%)		75,00%	8,13%
Coverage (Actual)		13616,25m ²	1477,28m ²
F.A.R.		1,5 (27232,50m ²)	* 0,0814 (1477,28m ²)
Height		Max 12,00m	Tank Height 10,83m
Building Lines	Side Boundaries - 0m		Max Bldg Height 6,98m
	Rear Boundary - 0m		
	Street Boundary - 0m		
Total Area	1477,28m ²		

* Special F.A.R. Note:
Total Floor Area - 2079,53m²
Double Volume Area - 0,00m²
F.A.R. Floor Area - 2079,53m²

Parking Requirements	Gross Lettable Office Area	Bays Required	Bays Provided
4,0 Parking Bays/100m ² of Gross Lettable Office Space	344,74m ²	13,79 Bays	18 Bays
Parking for Trucks	n/a	30 Bays	30 Bays
Disabled Parking	n/a	1 Bays	1 Bays