

Case No.: HWC23042801
E-mail: hwc.hwc@westerncape.gov.za
Tel 021 483 9729 / 9900
Date: 28 April 2023



HERITAGE WESTERN CAPE APPLICATION SCREENING

APPLICATION DETAILS:

Erf 56 & 57, Off Mkuzi Street, Mossel Bay

Good day Applicant

Your application has undergone screening and may be submitted for processing.

Please note that the above is an initial screening of your application to ensure compliance with the guidelines of documentation required. HWC reserves the right to request additional information.

Kindly note the case number for your request is: **HWC23042801**

The application fee payable is R330.00

Please use the reference number above for payment into the following account and include the reference on the application form:

**Heritage Western Cape
Nedbank
Account Number: 1452 048 924
Branch Code: 14 52 09**

It is essential that you ensure that the case number is used as the bank reference for any payment made to us. Failure to do so will determine that HWC will regard your application as unpaid.

Please email your full application, correct proof of payment and this confirmation of application screening letter to hwc.hwc@westerncape.gov.za for submission.

The prescribed time limit for processing applications will be calculated from the date that the completed application is received.

www.westerncape.gov.za/cas

Street Address: Protea Assurance Building, Green Market Square, Cape Town, 8000 • **Postal Address:** P.O. Box 1665, Cape Town, 8000
• **Tel:** +27 (0)21 483 5959 • **E-mail:** ceoheritage@westerncape.gov.za

Straatadres: Protea Assuransie-gebou, Groentemarkplein, Kaapstad, 8000 • **Posadres:** Posbus 1665, Kaapstad, 8000
• **Tel:** +27 (0)21 483 5959 • **E-pos:** ceoheritage@westerncape.gov.za

Idilesi yendawo: kumgangatho 3, kwisakhiwo iprotea Assurance, Greenmarket Square, eKapa, 8000 • **Idilesi yeposi:** Inombolo yebhokisi yeposi 1665, eKapa, 8000 • **Iinombolo zomnxeba:** +27 (0)21 483 5959 • **Idilesi ye-imeyile:** ceoheritage@westerncape.gov.za



Record of payment

Date: 29/04/2023 Time: 2:25 PM

From account number	*****56947
From account name	B ASHA Consulting
My reference	HWC payment
Recipient's reference	HWC23042801
Bank	Nedbank
Amount	R330.00
Payment date	29/04/2023
Reference number	20230429/Nedbank/004003028504

Important: This Record of payment contains personal account information and is for the accountholder's use only. Please use the Proof of payment option to notify the recipient of the payment

APPLICATION FORM

NOTIFICATION FOR INTENT TO DEVELOP (NID)

Section 38(1) and Section 38(8)

Completion of this form is required by Heritage Western Cape for the initiation of all impact assessment processes under Section 38 (1) & (8) of the National Heritage Resources Act (NHRA).

As per Section 38(1)(e) of the NHRA, submission of the NID must be initiated at the earliest stage of development. Should the development trigger any other legislation, practitioners may submit the NID without formal submission to other statutory bodies in order to comply with the NHRA.

This form is to be read in conjunction with the HWC Notification of Intent to Develop, Heritage Impact Assessment, (Pre-Application), Basic Assessment Reports, Scoping Reports and Environmental Impact Assessments.

All sections of the form must be completed in order to deem the application to be complete.

Making an incorrect statement or providing incorrect information may result in all or part of the application having to be reconsidered by HWC in the future, or submission of a new application.

HERITAGE WESTERN CAPE REFERENCE NO., AS PROVIDED DURING SCRUTINY:

SECTION A

APPLICATION MADE IN TERMS OF:

- Section 38(1) of the NHRA (This development will not require a NEMA application)
- Section 38(8) of the NHRA (This development requires an application with another authority)
- Amendment of approved Site Development Plan (SDP) for endorsement. Endorsements are only reviewed upon submission of an assessment by the heritage practitioner confirming heritage design indicators as approved are not compromised by the revision
- Advice in terms of Section 38(1)

APPLICABILITY OF OTHER LEGISLATION:

Specify the authorised department that makes the final decision in terms of NEMA (National Environmental Act.), i.e. Department of Mineral Resources, Department of Environmental Affairs and Development Planning Western Cape, Department of Forestry, Fisheries and Environment etc.: Department of Environmental Affairs
Development Planning

Reference number of authority / government department: _____

Present phase at which the process with that authority stands: Pre-application phase

PREVIOUS HWC APPLICATIONS APPLICABLE TO THE SITE AND OR DEVELOPMENT

Provide details of any previous applications submitted to HWC on the site.

HWC Reference No.	NHRA Section	Summary of Proposal	Application Status (Approved, Not Approved, Pending)	Permit / Record of Decision Date

SECTION B

DETAILS OF SITE, PROPERTY OR PLACE

Physical address or Location (e.g., of the R44): Off Mkuzi Street, Mossdustrig

Erf or Farm Name and No. (including the name of the site): Erven 56 and 57, Mossdustrig

Coordinates for logical center point (WGS84): S 34° 09' 40.8" E 22° 00' 18.8"

Town: Mossel Bay District / Municipality: Mossel Bay, Garden Route District

Property Extent: Erf 56: 8988 m²; Erf 57 = 9095 m² Current land Use: Vacant

Current zoning: Industrial Zone II

Predominant land uses of surrounding properties: Industrial

SECTION C

APPLICANT / AUTHORISED AGENT – Details of person to receive Record of Decision

Name: Johan Pretorius

Company: Confuel (Pty) Ltd

Address and postal code: 3 Black Spider Road, Midstream Meadows, Olifantsfontein, Gauteng, 1668

Cellular phone number: 076 331 1389

E-mail: johan@confuel.net

Signature:  Date: 26 April 2023

REGISTERED OWNER OF PROPERTY

Name: JLP Prop Limited

Identity number of applicant: 940107 5092 081

Address and postal code: 3 Black Spider Road, Midstream Meadows, Olifantsfontein, Gauteng, 1668

Cellular phone number: 076 331 1389

E-mail: johan@confuel.net

Declaration: I, Johannes Lodewickus Pretorius am fully aware of this application and accept its contents and declare that I intend to undertake the actions as proposed in this application.

Signature:  Date: 26 April

SECTION D

DETAIL OF PROPOSED DEVELOPMENT

Provide a full description of the nature and extent of the proposed development.

Confuel (PTY) Ltd is proposing the development of a truck stop and associated infrastructure on Erven 56 and 57 in Mossdustrya located within the Mossel Bay Local Municipality, Garden Route District Municipality. The proposed development will be equipped with a services building, a covered filling area (including several filling islands), two parking areas (that will be able to accommodate double- and single-wagened trucks), an aboveground tank farm with observation wells, site access, fencing and services connections (water, sewer and electricity infrastructure).

- 2 aboveground water reservoirs with a combined capacity of 740 kℓ (370 kℓ respectively);
- A main office building: With an area of 185.46 m². The building will include:
 - Four (4) Offices;
 - A reception area;
 - A kitchenette; and
 - Three (3) bathrooms
- The trucker facility building: With an area of 249.43 m². The building will include:
 - A restroom (for both males and females);
 - A laundry area;
 - A lobby;
 - An outdoor garden area (providing additional seating);
 - A dining area;
 - A canteen (with a kitchen); and
 - Two (2) Stores.
- A Bulk office: With an area of 69 m², that will be comprised of 2 offices.
- A guard house: With an area of 23.63 m² and will include a guard room and a bathroom.
- A bunded tank farm:
 - Including three (3) horizontal tanks of 46 m³ each (with a bunded area of 187.93 m²);
 - Four (4) vertical tanks of 86 m³ each (with a bunded area of 137.70 m²); and
 - Based on the future supply and demand, there will be sufficient area to accommodate an additional 4 vertical tanks, if required. The need therefore will however only be determined once the facilities are operational (if approved) and if the additional supply would be justified by the demand.

- A canopied filling area will include:
 - o Four (4) filling islands with the capacity to provide services to seven (7) trucks at any one time;
 - o A canopy will have an area of 449.55 m².
- A washbay with an overall area of 201.94 m².
- The site layout will also accommodate an additional building which will be reserved for future use and the use of which will be aimed at providing an additional service (such as maintenance services) to the truckers using the proposed truck stop facilities.

The zoning of the proposed development area is Industrial Zone II, and is located within the Industrial Node in terms of the Spatial Development Framework (SDF) of the Mossel Bay Municipality. Consent Use for the proposed land use has been obtained in accordance with the Land Use Scheme of the Municipality (2021).

Specifically, regarding the storage of dangerous goods, the proposed development will follow a phased approach in the installation. As part of this application, it is proposed that the onsite storage area will have a combined capacity of 482 m³. Once the proposed development is operational, the need for additional storage capacity will be confirmed and the necessary expansion activities (in terms of the EIA Regulations) will be applied for.

DEVELOPMENT DETAILS – Indicate which sections of the NHRA, or other legislation which requires a NID

PLEASE TICK THE APPROPRIATE BOX	
	Section 38(1)(a) Construction of a road, wall, powerline, pipeline, canal or other similar form of linear development or barrier over 300m in length.
	Section 38(1)(b) Construction of a bridge or similar structure exceeding 50m in length.
	Section 38(1)(c) Any development or activity that <u>will change the character of a site:</u>
	(i) exceeding 5 000m ² in extent.
	(ii) involving three or more existing erven or subdivisions thereof.
	(iii) involving three or more erven or divisions thereof which have been consolidated within the past five years.
	*If (i), (ii) and/or (iii) are marked above, describe how the development will change the character of the site

	Section 38(1)(d) Rezoning of a site exceeding 10 000m ² in extent.
X	Other triggers e.g., in terms of other legislation (NEMA, etc.) – Describe the details: _____
	The proposed truck stop requires that a Basic Assessment application be submitted.

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ESTIMATED CONSTRUCTION COST AND/ OR VALUE OF DEVELOPMENT UPON COMPLETION: R 25 000 000.00

SECTION E

PROVIDE A SHORT HISTORY OF THE SITE, PROPERTY OR PLACE – Include sources where applicable

When Diaz first landed at Mossel Bay in 1487 he named it Angra dos Vagueros. Many other Europeans visited its shores to obtain fresh water and food. The Dutch East India Company (VOC) claimed Mossel Bay in 1734. After a 1784 visit from an English ship, the VOC decided to establish an outpost at Mossel Bay. This was done in 1787 when, after a bumper grain crop, they constructed a store to facilitate the export of the grain. Although a small settlement had sprung up around the store by the end of the 18th century, it was only in 1848 that a small village, then known as Aliwal, came into being. By 1852 there were 30 houses. Many 19th century buildings are preserved within the town (Fransen 2004). The initial settlement was at the western end of the old town, but this is far away from the study area.

The erven on which the project is proposed were created in 1989 through subdivision of erf 1 Mossdustrua. Erf 1 was, in turn, a 1989 subdivision of Portion 8 of the farm Rietvalley 225 which was originally created in 1814. _____

ANTICIPATED IMPACTS ON HERITAGE RESOURCES

Section 3 of the NHRA sets out the following categories of heritage resource as forming part of the national estate. Please indicate the known presence of any of these by checking the box alongside and then providing a description of each occurrence, including nature, location, size, type

Failure to provide sufficient detail or to anticipate the likely presence of heritage resources on the site may lead to a request for more detailed specialist information.

IDENTIFICATION OF ALL HERITAGE RESOURCES ON THE SITE, PROPERTY OR PLACE AND ITS ENVIRONMENTS

Please indicate where applicable:

<input checked="" type="checkbox"/>	<p>Places, buildings, structures, and equipment of cultural significance: Description of Heritage Resource: No structures are present and none seem to have ever been present close to the site historically (see attached aerial photograph). Sporadic farms of heritage significance undoubtedly occur in the surrounding area. Fransen (2004) maps Kleinberg to the south of Mossdustrua, but he does not describe it. Descriptions of Heritage Impact: n/a</p>
<input type="checkbox"/>	<p>Places to which oral traditions are attached or which are associated with living heritage: Description of Heritage Resource: n/a Descriptions of Heritage Impact: n/a</p>
<input type="checkbox"/>	<p>Places to which oral traditions are attached or which are associated with living heritage: Description of Heritage Resource: n/a Descriptions of Heritage Impact: n/a</p>
<input type="checkbox"/>	<p>Historical settlements and townscapes: Description of Heritage Resource: n/a</p>

	<p>Descriptions of Heritage Impact: n/a</p>
x	<p>Landscapes and natural features of cultural significance: Description of Heritage Resource: The wider landscape has aesthetic value but the development is proposed within an existing industrial area.</p> <p>Descriptions of Heritage Impact: No impact expected.</p>
	<p>Geological resources of scientific or cultural significance: Description of Heritage Resource:n/a</p> <p>Descriptions of Heritage Impact:n/a</p>
x	<p>Archaeological resources – Incl. archaeological sites and material, rock art, battlefields, and wrecks etc.: Description of Heritage Resource: The wider area is well known for the scatters and, in rare instances, deposits of Early (ESA) and Middle (MSA) Stone Age archaeological materials that occur on the southern coastal plain. Late Stone Age (LSA) materials may also occur but are less likely in this context. Famous sites in the area include the various shelters of the Pinnacle Point Complex (Jacobs 2010; Marean 2010) and the Cape St. Blaize Cave at Mossel Bay (Goodwin & Malan 1935; Keller 1970) which have all yielded important Middle Stone Age (MSA) deposits. Early Stone Age (ESA) artefacts are routinely recorded in agricultural lands but their distribution varies massively. In some places artefacts are absent, but in others they can be dense. Nilssen (2006) worked very close to the study area and reported ESA artefacts. He also found ESA artefacts along the N2 to the southeast of the study area, including large numbers collected from trenching excavations (Nilssen 2009). Amongst these were a number of Acheulean handaxes. Although the site has been levelled, it is expected that this will, in fact, provide a good opportunity to determine the likelihood of subsurface artefact-bearing gravel being present.</p> <p>The site visit (and geotechnical report) showed that there is a clay substrate with no suggestion of Enon Formation gravels. No artefacts were seen. The many small rock fragments on the surface are suggestive of a fill brought in to cover the clay that was revealed by grubbing. The neighbouring site to the east has a clean soil surface free of any rock fragments and assumed to be original. It is thus concluded that this site does not have any archaeology on it, although isolated artefacts could still be present but would be of zero significance.</p> <p>Descriptions of Heritage Impact: No significant impacts expected.</p>
x	<p>Palaeontological resources – i.e., fossils, geological formations etc.: Description of Heritage Resource: The site is indicated on the SAHRIS Palaeosensitivity map (see attached) as being of high sensitivity. A specialist palaeontological opinion was thus sought for this project in order to have an informed opinion. This was compiled by Barry Millsteed (see attached). Citing the geotechnical report (also attached), Millsteed notes that the soil profile is in excess of 1 m deep across the entire site and that the soil consists of an anthropogenic horizon at the top, followed by a clay horizon and then a residuum composed of weathered sandstone cobbles and sand and clay. These deposits are suggested to have no palaeontological potential. It is evident that sensitive bedrock is much deeper down than any depth that will be penetrated by the proposed development (note that the fuel tanks will be above ground) and that impacts to fossils will thus not occur.</p> <p>Descriptions of Heritage Impact: No impacts are expected.</p>
x	<p>Graves and burial grounds – e.g.: ancestral graves, graves of victims of conflict, historical graves, cemeteries etc.:</p>

	<p>Description of Heritage Resource: There is always a very small chance of unmarked human burials but in this instance where the site has been levelled, it is likely that any graves present would have already been exposed. Graves are thus not expected.</p> <p>Descriptions of Heritage Impact: No impacts expected.</p>
	<p>Sites of significance relating to the history of slavery in South Africa:</p> <p>Description of Heritage Resource: n/a</p> <p>Descriptions of Heritage Impact: n/a</p>
	<p>Other heritage resources:</p> <p>Description of Heritage Resource: n/a</p> <p>Descriptions of Heritage Impact: n/a</p>

PROVIDE A SUMMARY OF THE ANTICIPATED IMPACTS ON HERITAGE RESOURCES

No significant heritage impacts of any sort are expected.

SECTION F

RECOMMENDATION

In your opinion, do you believe that a Heritage Impact Assessment (HIA) is required?

Yes
 No

Specialist studies to be provided as part of the HIA:

	Architectural (i.e., fabric analysis, historical analysis, material analysis etc.)
	Archaeological Impact Assessment
	Paleontological Impact Assessment
	Townscape Assessment
	Cultural Assessment
	Social Historical Study
	Visual Impact Assessment
	Other:

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Recommendations made by: Dr Jayson Orton

Capacity: Archaeologist and heritage consultant

PLEASE NOTE

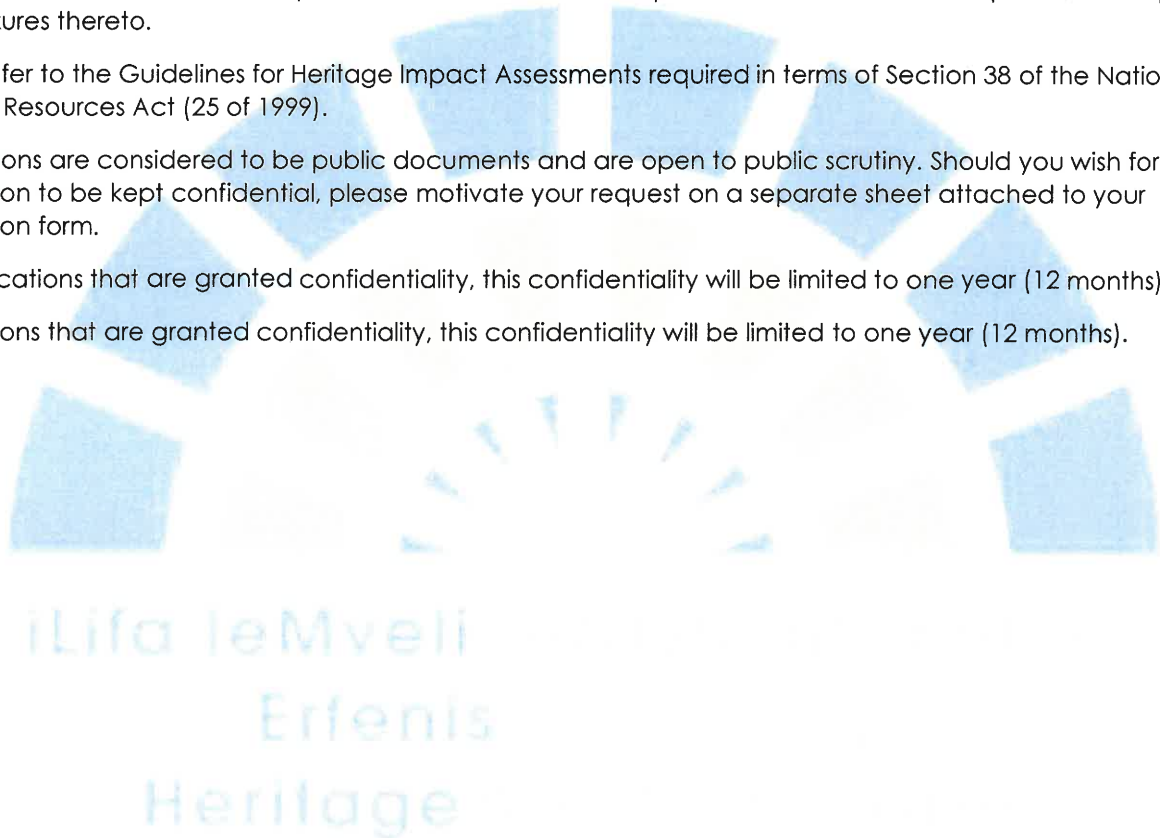
Any further studies which HWC requires should be submitted in the form of a single, consolidated report with a single set of recommendations. Specialist studies must be incorporated in full, either as chapters of the report, or as annexures thereto.

Please refer to the Guidelines for Heritage Impact Assessments required in terms of Section 38 of the National Heritage Resources Act (25 of 1999).

Applications are considered to be public documents and are open to public scrutiny. Should you wish for your application to be kept confidential, please motivate your request on a separate sheet attached to your application form.

For applications that are granted confidentiality, this confidentiality will be limited to one year (12 months).

applications that are granted confidentiality, this confidentiality will be limited to one year (12 months).



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BOY LOUW INCORPORATED
188 MAIN ROAD
PAARL
7646

Purchase price/Value		39600
Mortgage capital		
Reason for registration		

MONIQUE CHRISTINA SCHREUDER
NOTARY PUBLIC

Monique Schreuder

1-7 MAR 2023

Protocol No. 66

NOTARIAL TIE AGREEMENT

600000190 / 2023 S

BE IT HEREBY MADE KNOWN

THAT on 17 FEBRUARY 2023, before me, MONIQUE CHRISTINA SCHREUDER (LPCM 94920), Notary Public, practising at PAARL, in the Province of the Western Cape, personally came and appeared

LOUISE BRITZ

she being duly authorised thereto by:

28-03-2023

*MS NH.
WB*

KLM

1. A Power of Attorney signed at MOSSEL BAY on 13 FEBRUARY 2023 and granted to her by

JOHANNES LODEWICKUS PRETORIUS
duly authorised thereto by a Resolution of the Director/s of

JLP PROPERTIES PROPRIETARY LIMITED
REGISTRATION NUMBER 2020/659146/07

("the Company")

and

2. A Power of Attorney signed at MOSSEL BAY on 10 FEBRUARY 2023 and granted to her by

DOUW GERBRAND STEYN

in his capacity as Legal Adviser of the **MOSSEL BAY MUNICIPALITY** and duly authorised thereto by Council Resolution of the said municipality

("the Municipality")

("the Company" and "the Municipality" hereinafter referred to as "the Parties")

which said Powers of Attorney and copies of which resolution now remain filed in my Protocol.

AND THE APPEARER DECLARED THAT:

1. **WHEREAS** the said Company, is the registered owner of the following immovable properties, namely –

- 1.1 **ERF 56 MOSSDUSTRIA
IN THE MOSSEL BAY MUNICIPALITY
DIVISION OF MOSSEL BAY
WESTERN CAPE PROVINCE**

IN EXTENT: 8987 (EIGHT THOUSAND NINE HUNDRED AND EIGHTY SEVEN) SQUARE METRES

Held by Deed of Transfer No. T43051/2022

(hereinafter referred to as "Erf 56")

and

1.2 **ERF 57 MOSSDUSTRIA
IN THE MOSSEL BAY MUNICIPALITY
DIVISION OF MOSSEL BAY
WESTERN CAPE PROVINCE**

IN EXTENT: 9096 (NINE THOUSAND AND NINETY SIX) SQUARE METRES

Held by Deed of Transfer No. T43052/2022

(“Erf 56” and “Erf 57” hereinafter together referred to as “**the Properties**”)

2. **AND WHEREAS** the Company in terms of Section 15 of the Mossel Bay By-Law on Municipal Land Use Planning, 2021 applied to the Municipality for consent use on the Properties to establish a truck stop on the Properties;
3. **AND WHEREAS** the Municipality has approved the application for such consent use, subject thereto that the Properties being notarially tied together and be regarded as one property for all intents and purposes;
4. **AND WHEREAS** the Parties wish to record their agreement in writing and to register same in the Deeds Office, Cape Town against the relevant Title Deeds of the Properties;

NOW THEREFOR THE APPEARER DECLARED:

1. The Properties shall as from the date of registration of this Notarial Tie Agreement against the respective title deeds of the Properties be notarially tied together and may not be separately transferred or dealt with in any way or manner until such time as the registration of this Notarial Tie Agreement against the Title Deeds of the Properties has been formally cancelled.
2. The Notarial Tie Agreement will terminate on cancellation thereof by the registration of a notarial deed of cancellation entered into between the Company and the Municipality.
3. That the Parties hereto will not be able to amend or cancel this Notarial Tie Agreement without the prior written consent of the Municipality;
4. No consideration will be payable for the registration of this Notarial Tie Agreement but for purposes of Transfer Duty/VAT purposes (if applicable) the Company declare the value to be R1000,00;

6/1/17

B
WB
NM

5. The Company will be liable for all costs and expenses incurred in order to register this Notarial Tie Agreement in the Deeds Office, Cape Town.

THUS DONE AND CONTRACTED AND AGREED UPON at PAARL on the day, month and year first aforewritten, in the presence of the undersigned witnesses

AS WITNESSES:

1. Naie

uBritz
q.q THE COMPANY

2. Hugo.

uBritz
q.q THE MUNICIPALITY

QUOD ATTESTOR,



**NOTARY PUBLIC
LPCM 94920**



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BOYLOUW INC.

SARS

(S) R

Transfer Duty

TDREP

Declaration

Reference Details

Transfer Duty Reference Number: TDE0537035

Details

Details of Seller / Transferor / Time Share Company

Surname / Registered Name	JLP PROPERTIES PROPRIETARY LIMITED	Full Name	
Company / CC / Trust Reg No.	202065914607	Marital Status	

Details of Purchaser / Transferee

Full Name		Surname / Registered Name	MOSSEL BAY MUNICIPALITY
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Details of the Property

Date of Transaction/Acquisition (CCYYMMDD)	2023-02-17	Total Fair Value	R 1000.00	Total Consideration	R 1000.00
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Calculation of Duty and Penalty / Interest

Transfer Duty Payable on Natural Person	R 1000.00
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Property Description

- 1 THE OWNER WISH TO NOTARIALLY TIE THE UNDERMENTIONED PROPERTIES, WHICH TIE AGREEMENT HAS BEEN INCLUDED IN A NOTARIAL TIE AGREEMENT ACCORDING TO PROTOCOL NO. 66 DATED 17 FEBRUARY 2023 WHICH AGREEMENT HAS BEEN EXECUTED IN THE PRESENCE OF A NOTARY PUBLIC, MONIQUE CHRISTINA SCHREUDER OF PAARL
- 2 ERF 56 MOSSDUSTRIA, IN THE MOSSEL BAY MUNICIPALITY, DIVISION OF MOSSEL BAY, WESTERN CAPE PROVINCE - IN EXTENT : 8987 (EIGHT THOUSAND NINE HUNDRED AND EIGHTY SEVEN) SQUARE METRES
- 3 ERF 57 MOSSDUSTRIA, IN THE MOSSEL BAY MUNICIPALITY, DIVISION OF MOSSEL BAY, WESTERN CAPE PROVINCE - IN EXTENT : 9096 (NINE THOUSAND AND NINETY SIX) SQUARE METRES

Receipt

Receipt Details

Transfer Duty Reference Number	TDE0537035	Receipt No.	
Receipt Amount	R 0		

Declaration by Conveyancer / Attorney

I certify that this is a true copy of the transfer duty declaration / receipt / exemption certificate drawn from the SARS eFiling site, which will be retained by me for 5 years from the date of registration of transfer.

XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

Please ensure you sign over the lines of 'X's above

MONIQUE CHRISTINA SCHREUDER
LPCM 94920

Date (CCYYMMDD) 20230222

For enquiries go to
www.sars.gov.za or call
0800 00 SARS (7277)

2/1/23

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BOY LOUW INGELYF
HOOFSTRAAT 188, PAARL, 7646

Opgestel deur my

TRANSPORTBESORGER
MONIQUE CHRISTINA SCHREUDER
LPCM 21931

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price Value	R. 4.600.000,00	R. 2305,00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....

DATA / VERIFY
08-09-2022
PHUMELELA MNAMATA

DATA / CAPTURE
07-09-2022
LITHA VUYO MASHAYI

T 043051/22

TRANSPORTAKTE

HIERBY WORD BEKEND GEMAAK DAT

FLORIS ALBERTUS HANEKOM
LPCM No: 90928

voor my verskyn het, REGISTRATEUR VAN AKTES te KAAPSTAD, hy/sy die genoemde komparant synde behoorlik daartoe gemagtig kragtens 'n Volmag aan hom/haar verleen deur

DOLPHIN BAY TRADING EIENDOMS BEPERK
Registrasienuommer 2005/013234/07

wat Volmag geteken te MOSSELBAAI op 30 JUNIE 2022

For further endorsement see page 15.

En genoemde Komparant het verklaar dat sy/haar prinsipaal, op 22 Junie 2022, waarlik en wettiglik verkoop by Privaat ooreenkoms, en dat hy/sy, in sy/haar voorgenoemde hoedanigheid hierby sedeer en transporteer aan en ten gunste van

JLP PROPERTIES EIENDOMS BEPERK

Registrasienuommer 2020/659146/07

diese Opvolgers in titel of Regverkrygendes, in volkome en vrye eiendom

ERF 56 MOSSDUSTRIA
IN DIE MOSSELBAAI MUNISIPALITEIT
AFDELING MOSSELBAAI
PROVINSIE WES-KAAP

GROOT : 8987 (AGT DUISEND NEGE HONDERD SEWE EN TAGTIG) Vierkante meter

AANVANKLIK OORGEDRA kragtens Transportakte Nr T100798/2006 met Algemene Plan L.G. Nr. 12410 wat daarop betrekking het en gehou kragtens Transportakte Nr. T41765/2008

I. WAT BETREF die figuur aj ah d z op Algemene Plan Nr. 12410:

- A. ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte Nr. T2175/1900.
- B. ONDERHEWIG VERDER aan die serwitute waarna verwys word in die volgende endossement gedateer 13 Februarie 1989 op Verdelingstransport Nr. T9377/1962, naamlik:

“Kragtens Notariële Akte K166/89S gedateer 17 Januarie 1989 is die binnevermelde eiendom onderhewig aan die reg ten gunste van ESKOM om elektrisiteit daaroor te lei, tesame met bykomende regte en onderhewig aan voorwaardes soos vollediger sal blyk uit die gesegde Akte, afskrif waarvan hieraan geheg is” welke endossement nou saamgelees moet word met die volgende endossement vandag aangebring op Verdelingstransportakte Nr. T9377/1962, naamlik:

Kragtens 'n Akte van Omskrywing Nr. K543/89S is die roetes van die serwitute oor die binnegemelde eiendomme omskryf soos meer volledig uit die genoemde Notariële Akte sal blyk."

(watter vermelde serwituut oor hierdie komponent deur die lyne abc en fed op Kaart Nr. LG 1324/89 aangedui is).

II. WAT BETREF die figuur z d e a op Algemene Plan Nr. 12410:

ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte Nr. T2175/1900.



[Handwritten scribble]

[Handwritten signature]

WESHALWE die komparant afstand doen van al die regte en titel wat

DOLPHIN BAY TRADING EIENDOMS BEPERK

Registrasienuommer 2005/013234/07

voorheen op genoemde eiendom gehad het, en gevolglik ook erken het dat dit geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie akte, bogenoemde


JLP PROPERTIES EIENDOMS BEPERK

Registrasienuommer 2020/659146/07

diese Opvolgers in titel of Regverkrygendes, tans en voortaan daartoe geregtig is, ooreenkomstig plaaslike gebruik, behoudens die regte van die Staat en ten slotte erken dit dat die verkoopprijs die bedrag van R4 000 000,00 (Vier Miljoen Rand) plus 15% BTW ten bedrae van R600 000,00 (Ses Honderd Duisend Rand), die totale vergoeding wat die transportnemer aan die transportgewer betaal, die bedrag van R4 600 000,00 (VIER MILJOEN SES HONDERD DUISEND RAND) beloop.

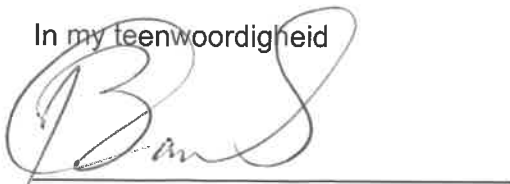
TEN BEWYSE WAARVAN ek, genoemde Registrateur, tesame met die Komparant hierdie Akte onderteken en dit met die Ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die Kantoor van die REGISTRATEUR VAN AKTES te KAAPSTAD op hede die 02 SEP 2022



Handwritten signature of the Registrar of Deeds, appearing as a series of loops and a vertical line, positioned above a horizontal line.

In my teenwoordigheid



Handwritten signature of the Registrar of Deeds, appearing as a large, stylized 'B' followed by 'an S', positioned above a horizontal line.

REGISTRATEUR VAN AKTES



Handwritten initials, possibly 'MS', located in the bottom right corner of the page.


5-

T43051/2022

By virtue of Notarial Tie-Deed No. K 000000190 / 2023 S dated 17 February 2023, the within mentioned property and Erf 57 Mossdustria, in the Mossel Bay Municipality, Division Mossel Bay, Province of the Western Cape – In extent : 9096 square metres and held by Deed of Transfer No. T43052/2022 are notarially tied together and may not be separately transferred or dealt with in any other way until such time as the registration of this Notarial Deed against the title deeds of the properties has been formally cancelled.

As will more fully appear from the said Notarial Tie-Deed.

DEEDS OFFICE
CAPE TOWN



REGISTRAR OF DEEDS

DATE :

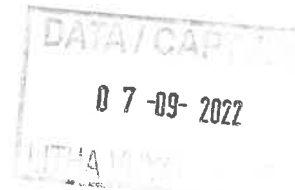
157

BOY LOUW INGELYF
HOOFSTRAAT 188, PAARL, 7646

Opgestel deur my

TRANSPORTBESORGER
MONIQUE CHRISTINA SCHREUDER
LPCM 21931

Deeds Office Registration fees as per Act 47 of 1937		
	Amount	Office Fee
Purchase Price	R. 4 600 000,00	R. 2 305,00
Reason for exemption	Category Exemption.....	Exemption i t o. Sec/Reg..... Act/Proc.....



T 043052/22

TRANSPORTAKTE

HIERBY WORD BEKEND GEMAAK DAT

FLORIS ALBERTUS HANEKOM
LPCM No: 90928

voor my verskyn het, REGISTRATEUR VAN AKTES te KAAPSTAD, hy/sy die genoemde komparant synde behoorlik daartoe gemagtig kragtens 'n Volmag aan hom/haar verleen deur

DOLPHIN BAY PRODUCTION EIENDOMS BEPERK
Registrasienuommer 2007/019208/07

wat Volmag geteken te MOSSELBAAI op 30 JUNIE 2022

For further endorsement see page 15 -

En genoemde Komparant het verklaar dat sy/haar prinsipaal, op 22 Junie 2022, waarlik en wettiglik verkoop by Privaat ooreenkoms, en dat hy/sy, in sy/haar voorgenoemde hoedanigheid hierby sedeer en transporteer aan en ten gunste van

JLP PROPERTIES EIENDOMS BEPERK

Registrasienuommer 2020/659146/07

diese Opvolgers in titel of Regverkrygendes, in volkome en vrye eiendom

ERF 57 MOSSDUSTRIA
IN DIE MOSSELBAAI MUNISIPALITEIT
AFDELING MOSSELBAAI
PROVINSIE WES-KAAP

GROOT : 9096 (NEGE DUISEND SES EN NEGENTIG) Vierkante meter

AANVANKLIK OORGEDRA kragtens Akte van Transport Nr. T88328/2006 met Algemene Plan Nr. 12410 wat daarop betrekking het en gehou kragtens Transportakte Nr. T88974/2007

I. WAT BETREF die figuur al ak z t op Algemene Plan Nr. 12410:

- A. ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte Nr. T2175/1900.
- B. ONDERHEWIG VERDER aan die serwitute waarna verwys word in die volgende endossement gedateer 13 Februarie 1989 op Verdelingstransport Nr. T9377/1962, naamlik:

“Kragtens Notariële Akte K166/1989S gedateer 17 Januarie 1989 is die binnevermelde eiendom onderhewig aan die reg ten gunste van ESKOM om elektrisiteit daarvoor te lei, tesame met bykomende regte en onderhewig aan voorwaardes soos vollediger sal blyk uit die gesegde Akte, afskrif waarvan hieraan geheg is” welke endossement nou saamgelees moet word met die volgende endossement vandag aangebring op Verdelingstransportakte Nr. T9377/1962, naamlik:

Kragtens 'n Akte van Omskrywing Nr. 543/1989S is die roetes van die serwitute oor die binnegemelde eiendomme omskryf soos meer volledig uit die genoemde Notariële Akte sal blyk.”

(watter vermelde serwituut oor hierdie komponent deur die lyne abc en fed op Kaart Nr. LG 1324/1989 aangedui is).

II. WAT BETREF die figuur z a u t op Algemene Plan Nr. 12410:

ONDERHEWIG aan die voorwaardes waarna verwys word in Transportakte Nr. T2175/1900.



WESHALWE die komparant afstand doen van al die regte en titel wat

DOLPHIN BAY PRODUCTION EIENDOMS BEPERK

Registrasienuommer 2007/019208/07

voorheen op genoemde eiendom gehad het, en gevolglik ook erken het dat dit geheel en al van die besit daarvan onthef en nie meer daartoe geregtig is nie en dat, kragtens hierdie akte, bogenoemde

JLP PROPERTIES EIENDOMS BEPERK

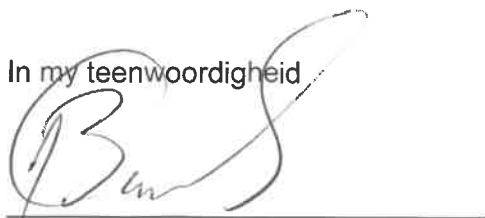
Registrasienuommer 2020/659146/07

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TEN BEWYSE WAARVAN ek, genoemde Registrateur, tesame met die Komparant hierdie Akte onderteken en dit met die Ampseël bekragtig het.

ALDUS GEDOEN EN VERLY op die Kantoor van die REGISTRATEUR VAN AKTES te KAAPSTAD op hede die 02 SEP 2022

In my teenwoordigheid



REGISTRATEUR VAN AKTES



-5-

T43052/2022

By virtue of Notarial Tie-Deed No. K 196 | 2023 S dated 17 February 2023, the within mentioned property and Erf 56 Mossdustria, in the Mossel Bay Municipality, Division Mossel Bay, Province of the Western Cape – In extent : 8987 square metres and held by Deed of Transfer No. T43051/2022 are notarially tied together and may not be separately transferred or dealt with in any other way until such time as the registration of this Notarial Deed against the title deeds of the properties has been formally cancelled.

As will more fully appear from the said Notarial Tie-Deed.

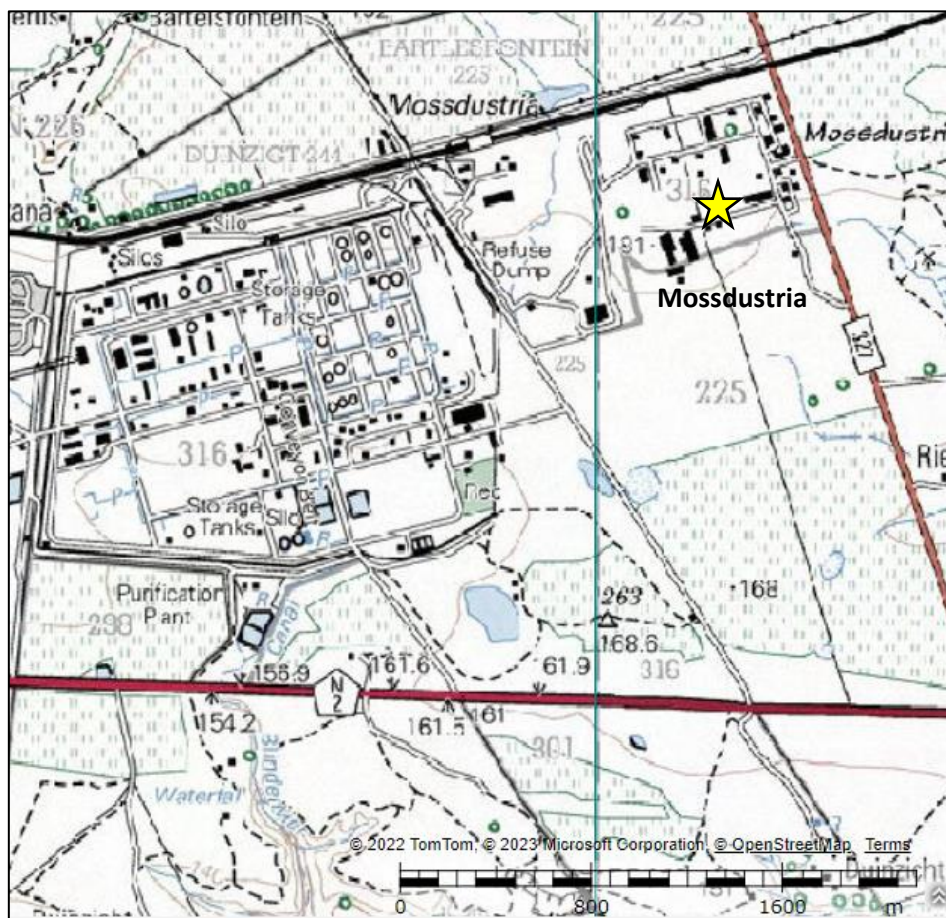
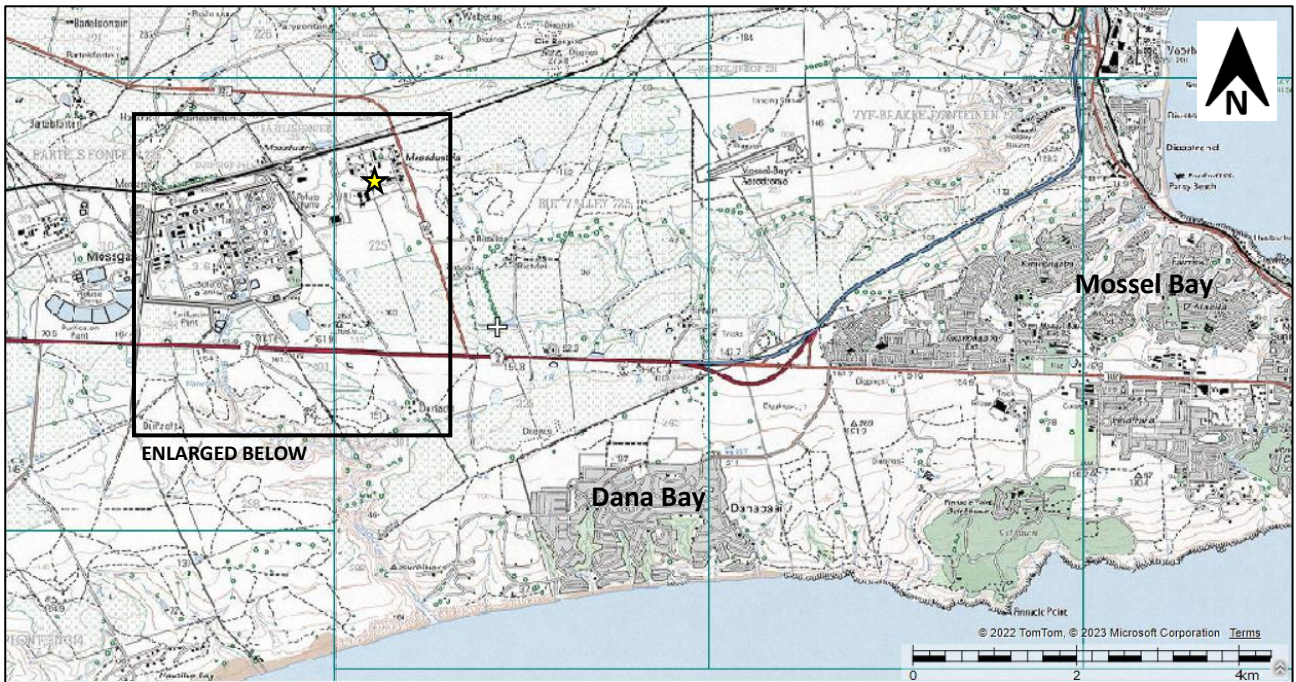
DEEDS OFFICE
CAPE TOWN



REGISTRAR OF DEEDS

DATE :

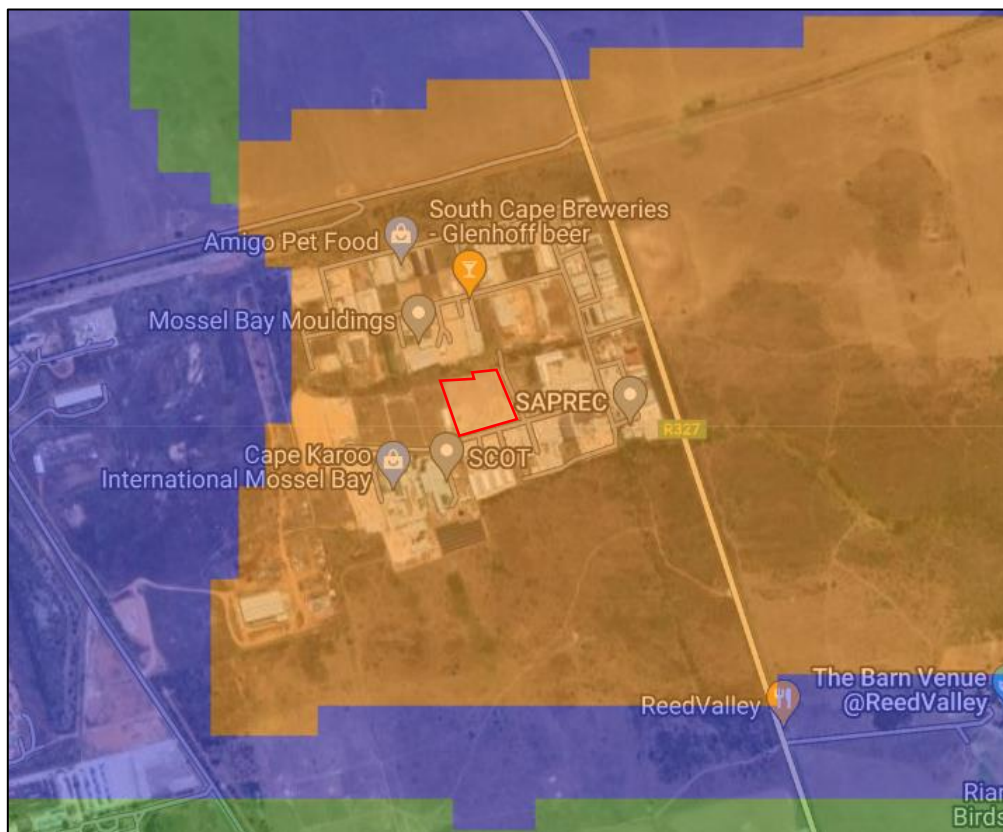
NID supporting document: truck stop facility on erf 56 and erf 57, Mossdustría



Extract from 1:50 000 mapsheets 3421BB and 3422AA showing the location of the site (red shaded polygon). The site is located at the yellow star.



Aerial view of the study area (red polygon) showing the industrial context (PetroSA lies to the west while the site itself is within Mossdustria).



Extract from the SAHRIS Palaeosensitivity map showing the study area (red polygon) to be of high palaeontological sensitivity (orange shading).

Site photographs (supplied by client, date unknown but between April and December 2022)



Looking northwest soon after grubbing.



Looking north soon after grubbing.



1939 (140_042_34261) and modern (Google Earth) comparative aerial views showing tht the site was grazing land with no infrastructure present in 1939. A road passed through the Mossdustria area from northwest towards the south (red arrows) and a small dam or pan (blue arrow) once occurred very close to the site but both features have been lost over time.



1998 (1013_014_02644) aerial photograph showing the early development of Mossdustria with PetroSA to the west. The site is indicated by the red polygon.

Site photographs (19 March 2023)



Panoramic view from the centre of the street edge (i.e. southern edge) of the site.



View towards the south and west from the north-eastern corner of the site.



View east from the western edge of the site. Note geotechnical excavation with a clay substrate revealed.



Looking west from the eastern part of the site showing a geotechnical excavation into clay substrate.



Geotechnical excavation in the centre of the site revealing a clay substrate.



The current surface of the site has many small rock fragments suggestive of a fill brought in to cover the clay that was exposed when the topsoil was removed.



Neighbouring development across the road to the southeast.



Neighbouring development across the road to the southwest.



GPS track log from the site visit.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Glass

MAIN OFFICE
Net Floor Area (m²) 151,57m²
Total Glazed Area (m²) 34,71m²
% Glazed Areas to Floor 22,90%
Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Coolest) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204:
 $(A_i \times U_i) + (A_e \times U_e) < A_t \times C_{Coolest}$

$(A_i \times U_i) + (A_e \times U_e) = 194,38$
 $A_t \times C_{Coolest} = 212,20$
Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204:
 $(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) < A_t \times C_{Coolest}$

$(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) = 18,0494$
 $A_t \times C_{Coolest} = 19,7041$
Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Glass

BULK OFFICE
Net Floor Area (m²) 52,74m²
Total Glazed Area (m²) 13,05m²
% Glazed Areas to Floor 24,74%
Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Coolest) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204:
 $(A_i \times U_i) + (A_e \times U_e) < A_t \times C_{Coolest}$

$(A_i \times U_i) + (A_e \times U_e) = 73,08$
 $A_t \times C_{Coolest} = 73,84$
Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204:
 $(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) < A_t \times C_{Coolest}$

$(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) = 6,7856$
 $A_t \times C_{Coolest} = 6,8562$
Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Double Clear Glass

GUARD ROOM
Net Floor Area (m²) 14,47m²
Total Glazed Area (m²) 7,20m²
% Glazed Areas to Floor 49,79%
Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Coolest) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204:
 $(A_i \times U_i) + (A_e \times U_e) < A_t \times C_{Coolest}$

$(A_i \times U_i) + (A_e \times U_e) = 17,35$
 $A_t \times C_{Coolest} = 20,26$
Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204:
 $(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) < A_t \times C_{Coolest}$

$(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) = 1,8109$
 $A_t \times C_{Coolest} = 1,8811$
Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

SANS 204 & SANS 10400-XA Requirements

FENESTRATION

Design Calculations for compliance with SANS 204 & SANS 10400-XA

GLAZING ELEMENT
Aluminum Thermal Break Frames with Single Clear Low E Glass

IT ROOM / LOCKER ROOM
Net Floor Area (m²) 10,95m²
Total Glazed Area (m²) 2,80m²
% Glazed Areas to Floor 26,30%
Fenestration is greater than 15% of net floor area. Therefore fenestration calculations are required as per SANS 204.

Climatic Zone 2 - Temperate Interior
Conductance 1,4
SHGC(Coolest) 0,13

CONDUCTANCE

For conductance to be compliant with SANS 204:
 $(A_i \times U_i) + (A_e \times U_e) < A_t \times C_{Coolest}$

$(A_i \times U_i) + (A_e \times U_e) = 15,69$
 $A_t \times C_{Coolest} = 15,33$
Therefore the proposed fenestration design complies with SANS 204 for conductance.

SOLAR HEAT GAIN

For solar heat gain to be compliant with SANS 204:
 $(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) < A_t \times C_{Coolest}$

$(A_i \times S_i \times E_i) + (A_e \times S_e \times E_e) = 1,0855$
 $A_t \times C_{Coolest} = 1,4235$
Therefore the proposed fenestration design complies with SANS 204 for solar heat gain.

ESTIMATED ENERGY CONSUMPTION

Legend	Description	Watts	Quantity	Total Watts
☉	Ceiling Lights	11W	53	583
☉	Wall Lights	11W	14	154
☉	External Spot Lights	200W	7	1400
☉	High Bays Lights	85W	12	1020
Total			3157	
Floor Area			1011,06m²	
Watt/m²			3,12Watt/m²	
Permitted 17Watt/m²				

MAXIMUM ANNUAL ENERGY DEMAND AS PER SANS 10142 = 97945,93kWh
(Watt x Hours per day x 365 days) / 1000 = Estimated Annual Energy Consumption
(3157 x 5 x 365) / 1000 = 5761,53
ESTIMATED ANNUAL ENERGY CONSUMPTION: **5762kWh**
The design complies with the minimum requirements of SANS 10400-XA:2011 for Energy Consumption.

AREA OF ERVEN	COVERAGE (M²)	COVERAGE %
18155m²	1011,98m²	5,57%

FAR = 0,06
Height = Single Storey
Building Lines = Not Applicable

GENERAL NOTES

All work to be in accordance with the National Building Regulations and the Local By-laws.
Any errors, discrepancies or omissions are to be reported immediately.
All levels, dimensions and steps are to be checked and verified on site before commencement of any work.
Work to figured dimension only - drawings are not to be scaled.
Foundations to boundary walls are not to encroach any boundaries.
All electrical and plumbing work are to be carried out by registered tradesmen.
Brick re-inforcing to be installed every 5th course in brickwork.
Two courses of brick re-inforcing at window head height.
Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
Vertical dpc where required.
Windows to have a minimum of 10% of floor area with opening sections as prescribed.
All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
Minimum depth of sewer to be 500mm.
All plumbing and drainage work and installation of sanitary fittings to comply to the relevant Local Authority by-laws, regulations and requirements.
Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
at ground level.
Fall of all drain pipes to be between 1:60 and 1:40.
Provide approved reseal traps to all waste fittings.
Provide AE at foot of all soil stacks.
IES to waste pipes to be fully accessible at all times.
All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
Pipe sizes: Soil pipes, vents & wc = 110mm
Aseptic = 50mm
Bath, shower and wash troughs = 38mm
Basins and bidets = 32mm

GLAZING NOTES
Under 0,75m = 3mm glass
0,75 - 1,50m = 4mm glass
1,50m and above = 6mm glass
All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
Sheeted Roofs
0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
Trusses of 114 x 58 Grade 4 timber and 226 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
76 x 38 wall plates.
Roof pitch to be as shown on section.
Roof overhang to be as shown on section.
All ceilings to owners specification.
Flashing if and where required.
Aluminum powder coated gutters & down pipes - To match wall colour (where applicable).
200 x 80 SM barge boards - same as roof colour.
900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
All risers to be 170mm.
All treads to be 300mm.
1000mm high balustrades.
1000mm high handrails.
Minimum Stair Headroom to be 2100mm.
All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
Pool to be finished only in a Charcoal or Portland Grey colour.
Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
External wall colour - Earthy colours.
All external windows and doors to be charcoal aluminium.
Internal electrical installation to comply with SABS 0142.
TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
No Solar Geysers or Solar Panels to be visible from any street.
900mm wide grey cement paving around buildings to prevent erosion from rain water.
Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinum.
All buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
5,5mm rimo ceiling boards - R-Value 0,045
Approved underlay - R-Value 0,75
135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mossdustris Township
MOSELBAY
for
Confural (Pty) Ltd

signature owner: _____ date _____

drawing Site Plan Window Schedule
Calculations

J Keyser in association with WIF Botha PrSArchT

SACAP Registration Number: **ST1127**

Cellular Numbers: J Keyser +27 82 177 8198
WIF Botha +27 83 289 4838

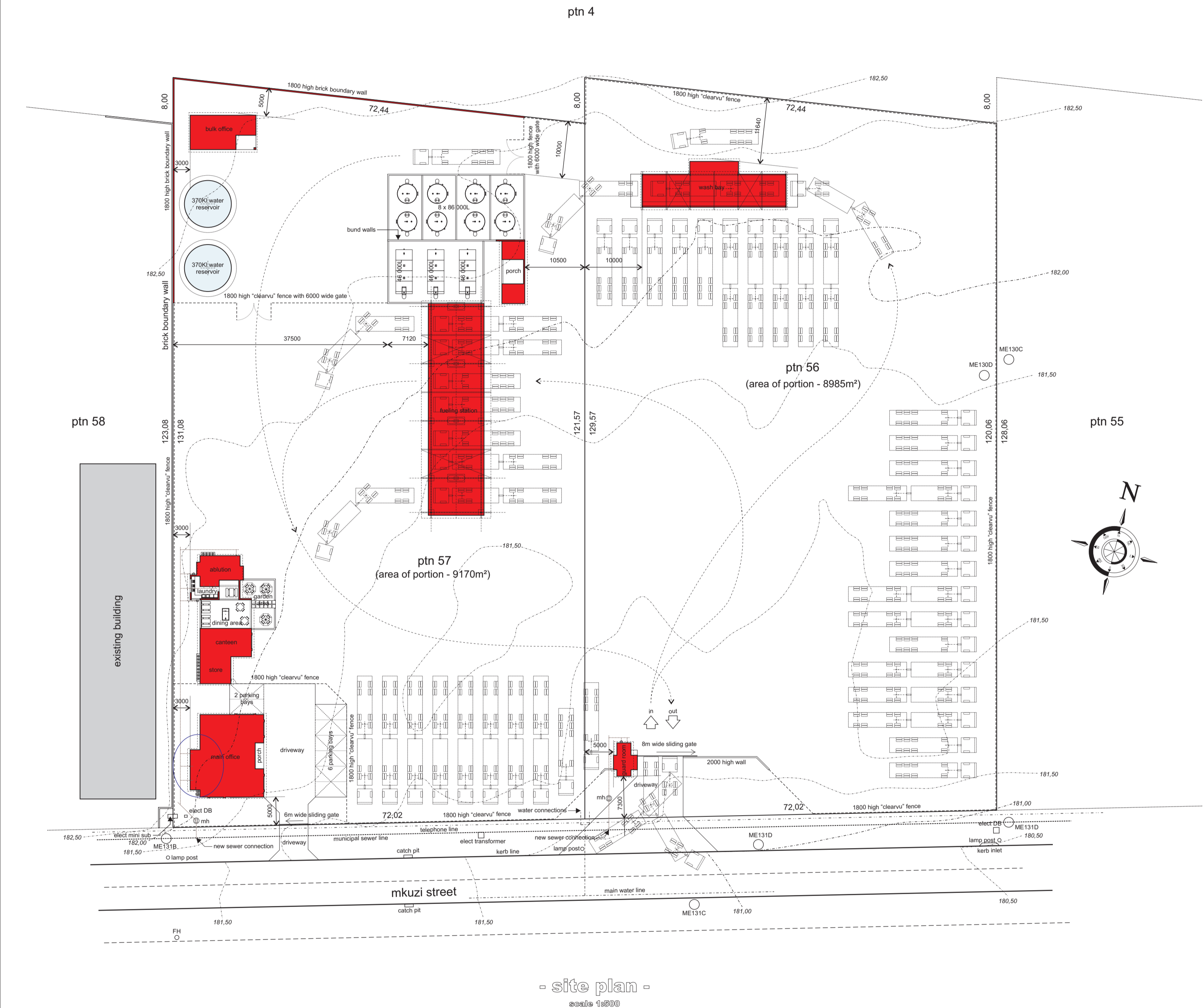
Copyright Reserved
Ownership of all drawings remains the property of the architectural technologist until paid in full.

drawn J Keyser scales As Shown drawn August 2022

area Main Office 165,84m²
Entrance Porch 8,80m²
172,64m²
Ablution 36,69m²
Laundry 14,20m²
Dining Area 58,77m²
Canteen 44,46m²
Store 25,49m²
Bulk Office 60,25m²
Porch 8,75m²
69,00m²
Guard Room 18,68m²
Entrance Porch 1,01m²
300,75m²
Wash Bay
Diesel Depot Office 13,76m²
Diesel Depot Office 13,76m²
Diesel Depot Cov Pabls 17,84m²
45,30m²
Diesel Depot 465,30m²
Total Area 1477,28m²

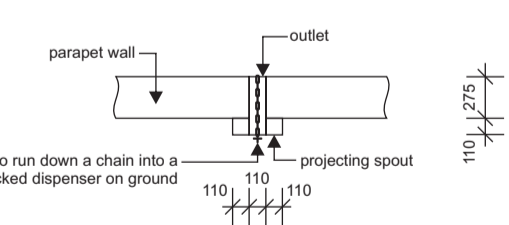
Rev 1 Fire Plan added Date 22 August 2022
Rev 2 Locker Room/IT Room added Date 12 August 2022
Rev 3 Tank Sizes reduced/Wall thickness reduced using Maxi Bricks Date January 2023

File Name: 56 and 57 Mossdustris - Johan Pretorius - New Truck Stop (FINAL).dwt
Sheet 1 of 9 Sheets



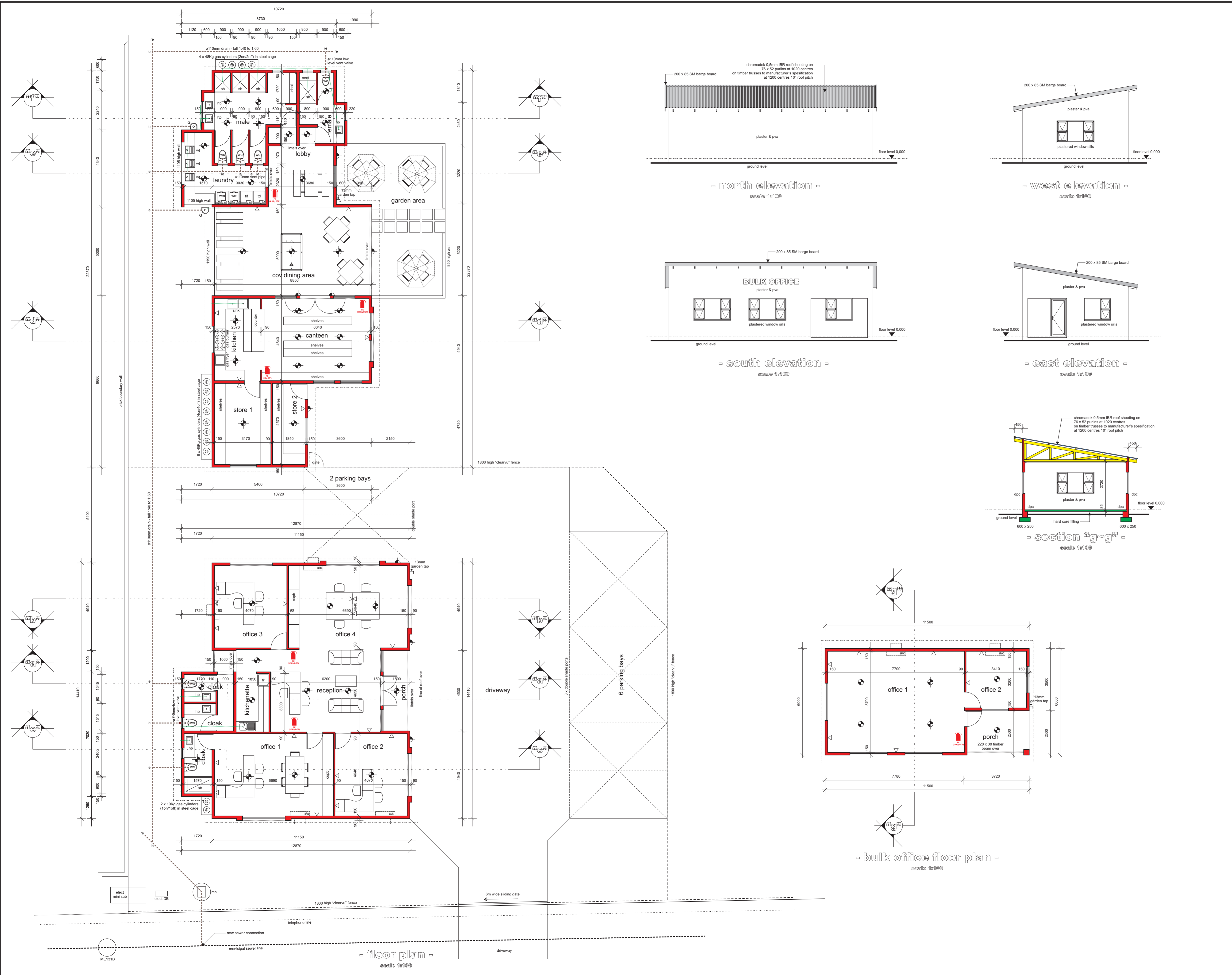
Electrical Legend

- ☉ Ceiling Lights - 53
- ☉ Internal Wall Lights - 14
- ☉ External Spot Lights - 7
- ☉ High Bay Lights - 12
- ☉ Recessed Down Lights - 0
- ☉ Braai Lights - 0
- ☉ Light Switches - As per electrician
- ☉ Ceiling Fans - 0
- ☉ Air Conditioners - 6
- ☉ 15Amp Wall Plugs - 46
- ☉ Tv Points - 1
- ☉ DB Distribution Boards - 1 x Main and 6 x Sub
- ☉ Gas Geysers - 3



Window Schedule
Top-Hung Charcoal Aluminium Windows & Doors

main office	bulk office	canteen / store / ablution block	guard room	locker room / IT room																								
<table border="1"> <tr> <td>6T12 (600 x 1200) 3 off</td> <td>12D21 (1200 x 2100) 2 off LH 1 off RH</td> <td>24D21 (2400 x 2100) 3 off</td> <td>30D21 (3000 x 2100) 1 off</td> <td>double hinged door (1700 x 2100) 1 off</td> <td>hinged door (900 x 2100) 3 off</td> <td>813 Timber Frames 3 off internal</td> </tr> </table>	6T12 (600 x 1200) 3 off	12D21 (1200 x 2100) 2 off LH 1 off RH	24D21 (2400 x 2100) 3 off	30D21 (3000 x 2100) 1 off	double hinged door (1700 x 2100) 1 off	hinged door (900 x 2100) 3 off	813 Timber Frames 3 off internal	<table border="1"> <tr> <td>15D12 (1500 x 1200) 1 off RH 1 off LH</td> <td>21D12 (2100 x 1200) 3 off</td> <td>hinged door (900 x 2100) 1 off</td> <td>813 Timber Frames 1 off internal</td> </tr> </table>	15D12 (1500 x 1200) 1 off RH 1 off LH	21D12 (2100 x 1200) 3 off	hinged door (900 x 2100) 1 off	813 Timber Frames 1 off internal	<table border="1"> <tr> <td>12T6 (1200 x 600) 2 off LH 2 off RH</td> <td>15T9 (1500 x 900) 1 off RH</td> <td>6T12 (600 x 1200) 7 off</td> <td>12D12 (1200 x 1200) 1 off RH 1 off LH</td> <td>12D21 (1200 x 2100) 1 off LH 1 off RH</td> <td>15D12 (1500 x 1200) 1 off RH 1 off LH</td> <td>double hinged door (1700 x 2100) 1 off</td> <td>813 Timber Frames 7 off internal 1 off external</td> </tr> </table>	12T6 (1200 x 600) 2 off LH 2 off RH	15T9 (1500 x 900) 1 off RH	6T12 (600 x 1200) 7 off	12D12 (1200 x 1200) 1 off RH 1 off LH	12D21 (1200 x 2100) 1 off LH 1 off RH	15D12 (1500 x 1200) 1 off RH 1 off LH	double hinged door (1700 x 2100) 1 off	813 Timber Frames 7 off internal 1 off external	<table border="1"> <tr> <td>6T12 (600 x 1200) 1 off</td> <td>9T12 (900 x 1200) 2 off</td> <td>9I2 (900 x 1200) 4 off</td> <td>813 Timber Frames 1 off internal 1 off external</td> <td>12D12 (1200 x 1200) 2 off RH 2 off LH</td> <td>813 Timber Frames 2 off external</td> </tr> </table>	6T12 (600 x 1200) 1 off	9T12 (900 x 1200) 2 off	9I2 (900 x 1200) 4 off	813 Timber Frames 1 off internal 1 off external	12D12 (1200 x 1200) 2 off RH 2 off LH	813 Timber Frames 2 off external
6T12 (600 x 1200) 3 off	12D21 (1200 x 2100) 2 off LH 1 off RH	24D21 (2400 x 2100) 3 off	30D21 (3000 x 2100) 1 off	double hinged door (1700 x 2100) 1 off	hinged door (900 x 2100) 3 off	813 Timber Frames 3 off internal																						
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GENERAL NOTES
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 Foundations to boundary walls are not to encroach any boundaries.
 All electrical and plumbing work are to be carried out by registered tradesmen.
 Brick re-inforcing to be installed every 5th course in brickwork.
 Two courses of brick re-inforcing at window head height.
 Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
 Vertical dpc where required.
 Windows to be a minimum of 10% of floor area with opening sections as prescribed.
 All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
 Minimum depth of sewer to be 500mm.
 All plumbing and drainage work and installation of sanitary fittings to comply to the relevant Local Authority by-laws, regulations and requirements.
 Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
 at ground level.
 Fall of all drain pipes to be between 1:60 and 1:40.
 Provide approved resin traps to all waste fittings.
 Provide AE at foot of all soil stacks.
 IE's to waste pipes to be fully accessible at all times.
 All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
 Pipe sizes: Soil pipes, vents & wc 110mm
 Awp 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,75m² 3mm glass
 0,75 - 1,50m² 4mm glass
 1,50m² and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
 76 x 38 wall plates.
 Roof pitch to be as shown on section.
 Roof overhang to be as shown on section.
 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
 1000mm high handrails.
 Minimum Stair Headroom to be 2100mm.
 All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
 All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
 Pool to be finished only in a Charcoal or Portland Grey colour.
 Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
 External wall colour - Earthy colours.
 All external windows and doors to be charcoal aluminium.
 Internal electrical installation to comply with SABS 0142.
 TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
 No Solar Geysers or Solar Panels to be visible from any street.
 900mm wide grey cement paving around buildings to prevent erosion from rain water.
 Staining and/or sealing to external timber doors - Natural wood colour.
 Colour/finish of any exposed timber - Treated with Carbolignum.
 All Buildings to be built in accordance with the approved building plans.
 Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
 9,5mm rhino ceiling boards - R-Value 0,045
 Approved underlay - R-Value 0,75
 135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 on
 Stands 56 and 57 Mosselbaya Township
 MOSSELBAYA
 for
 Confuel (Pty) Ltd

signature owner: _____ date _____

drawing
 Main Offices
 Ablution
 Canteen
 Bulk Office

J Keyser in association with **WF Botha**
 PrSArchT

SACAP Registration Number: **ST1277**
 PO Box 9183
 Cloke Park
 1601
 Cellular Numbers: J Keyser +27 62 177 8198
 WF Botha +27 63 299 4198

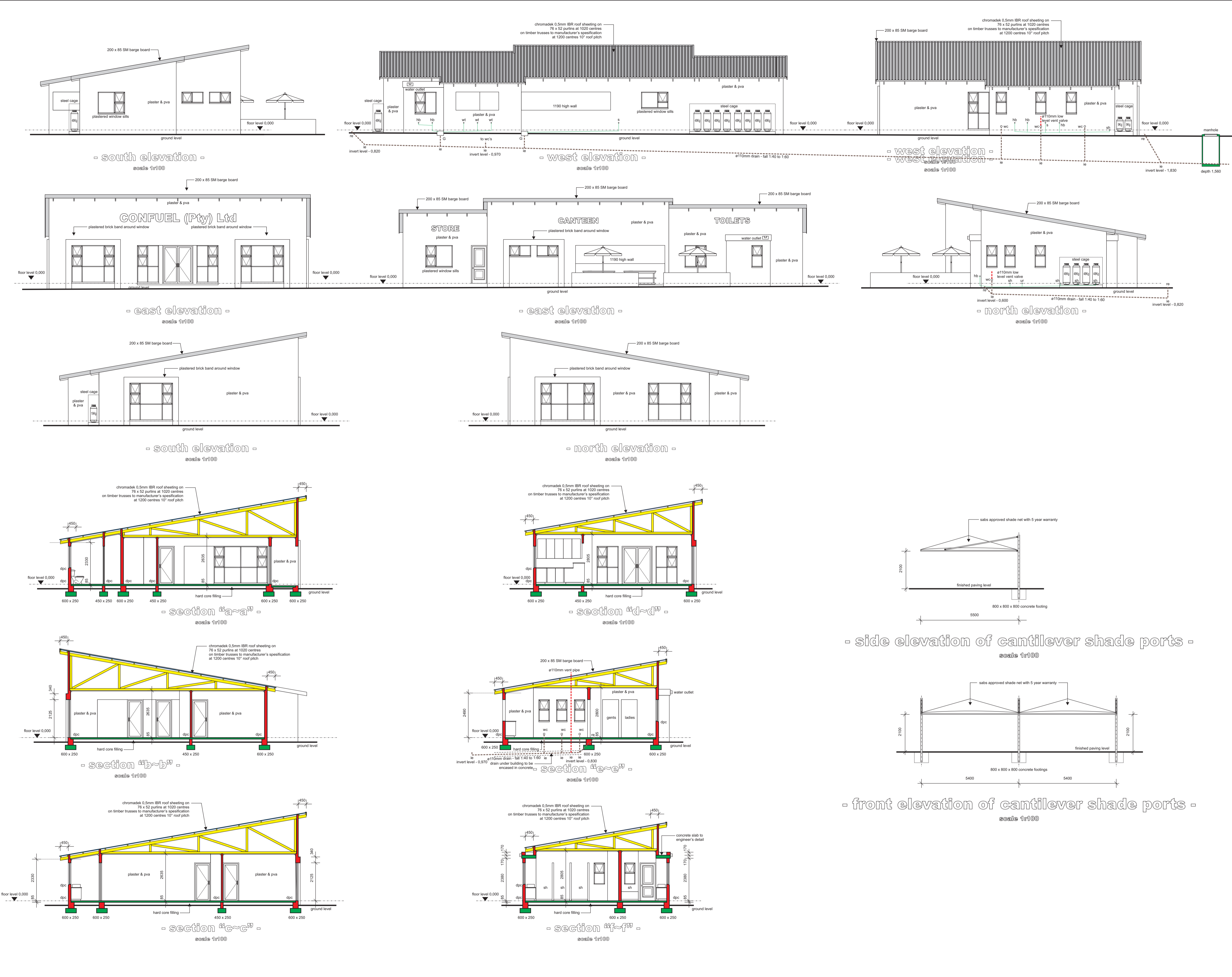
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drawn
 J Keyser
 scales
 As Shown
 drawn
 August 2022

area	description	area	description
165,84m ²	Main Office	172,64m ²	Entrance Porch
6,80m ²	Ablution	36,69m ²	Laundry
14,20m ²	Laundry	58,77m ²	Dining Area
58,77m ²	Dining Area	25,49m ²	Canteen
25,49m ²	Canteen	60,25m ²	Store
60,25m ²	Store	8,75m ²	Bulk Office
8,75m ²	Bulk Office	69,00m ²	Porch
69,00m ²	Porch	19,69m ²	Guard Room
19,69m ²	Guard Room	300,75m ²	Entrance Porch
300,75m ²	Entrance Porch	164,84m ²	Filing Station
164,84m ²	Filing Station	13,76m ²	Wash Bay
13,76m ²	Wash Bay	13,76m ²	Diesel Depot Office
13,76m ²	Diesel Depot Office	17,84m ²	Diesel Locker Room
17,84m ²	Diesel Locker Room	465,30m ²	Diesel Depot Pavlo
465,30m ²	Diesel Depot Pavlo		
		1477,28m²	Total Area

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Task Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023

File Name: 56 and 57 Mosselbaya - Johan Pretorius - New Truck Stop (FINAL).dgn
 Sheet 2 of 9 Sheets



GENERAL NOTES
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 Two courses of brick re-inforcing at window head height.
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 All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
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 IE's to waste pipes to be fully accessible at all times.
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 Pipe sizes: Soil pipes, vents & wc 110mm
 Awp 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,75m 3mm glass
 0,75 - 1,50m 4mm glass
 1,50m and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
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 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
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CHIMNEYS
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SPECIAL ROOF NOTES
 5,5mm rhino ceiling boards - R-Value 0,045
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All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 ON
 Stands 56 and 57 Mossdustria Township
MOSSELBAY
 for
 Confuel (Pty) Ltd

signature owner: _____ date _____

drawing Elevations Sections

J Keyser in association with **WJF Botha**
 PrSArchT PrSArchT

SACAP Registration Number: **ST1177**
 PO Box 5185
 Cloke Park
 1461
 Cellular Numbers: J Keyser +27 62 177 8198
 WJF Botha +27 62 299 4936

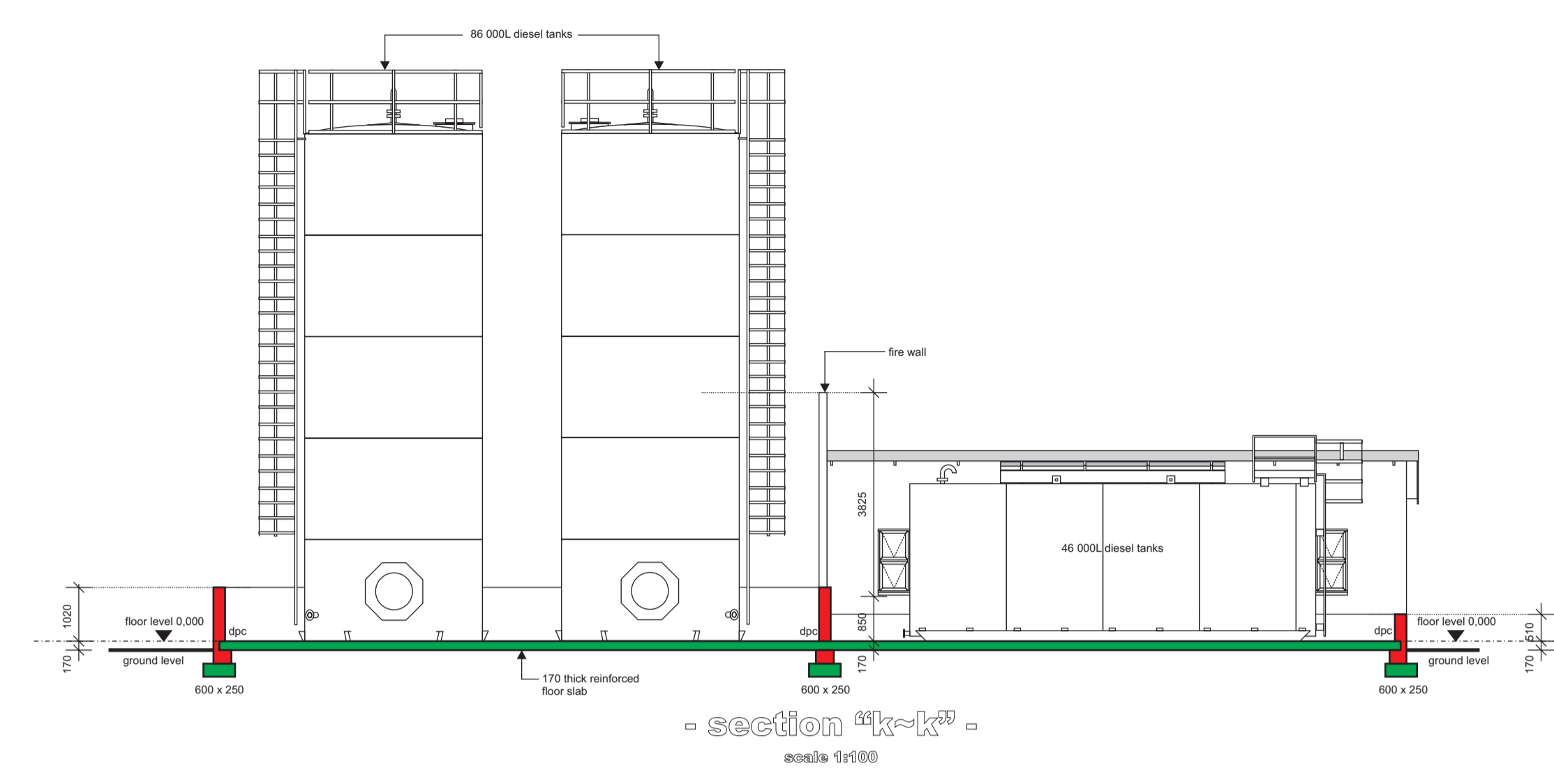
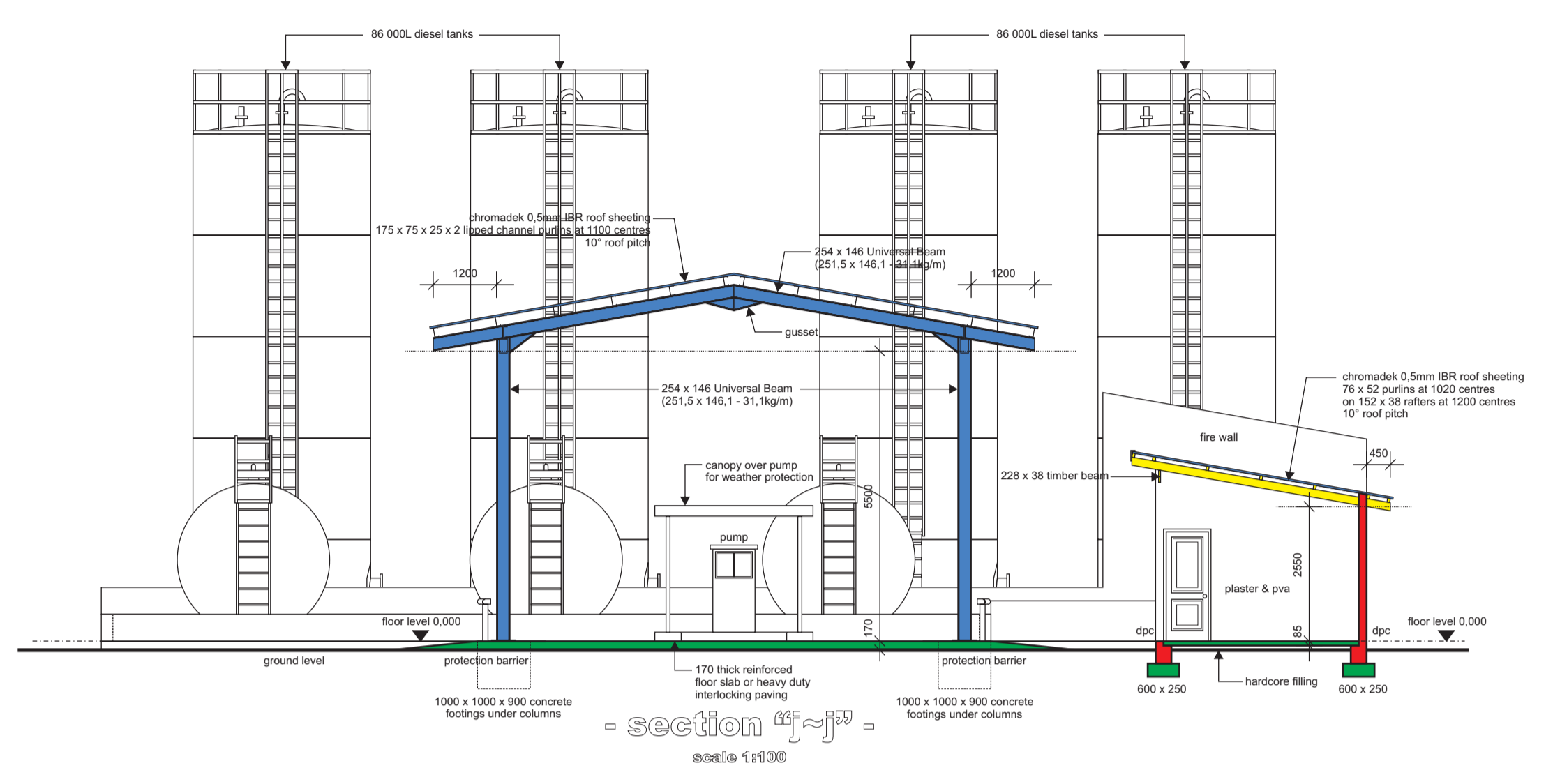
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drawn	scales	drawn
J Keyser	As Shown	August 2022

area			
Main Office	-	165,84m ²	172,64m ²
Entrance Porch	-	8,90m ²	36,69m ²
Abution	-	-	14,20m ²
Laundry	-	-	58,77m ²
Dining Area	-	-	44,46m ²
Canteen	-	-	25,49m ²
Store	-	60,25m ²	69,00m ²
Bulk Office	-	8,75m ²	360,75m ²
Porch	-	1,01m ²	19,69m ²
Guard Room	-	-	164,84m ²
Entrance Porch	-	-	45,30m ²
Filling Station	-	-	13,76m ²
Wash Bay	-	-	17,84m ²
Diesel Depot Office	-	-	465,30m ²
Diesel Locker Room	-	-	-
Diesel Depot Cov Palo	-	-	-
Diesel Depot	-	-	-
Total Area	-	-	1477,28m²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023

File Name: 56 and 57 Mossdustria - Johan Pretorius - New Truck Stop (FINAL).ldp
 Sheet 3 of 9 Sheets



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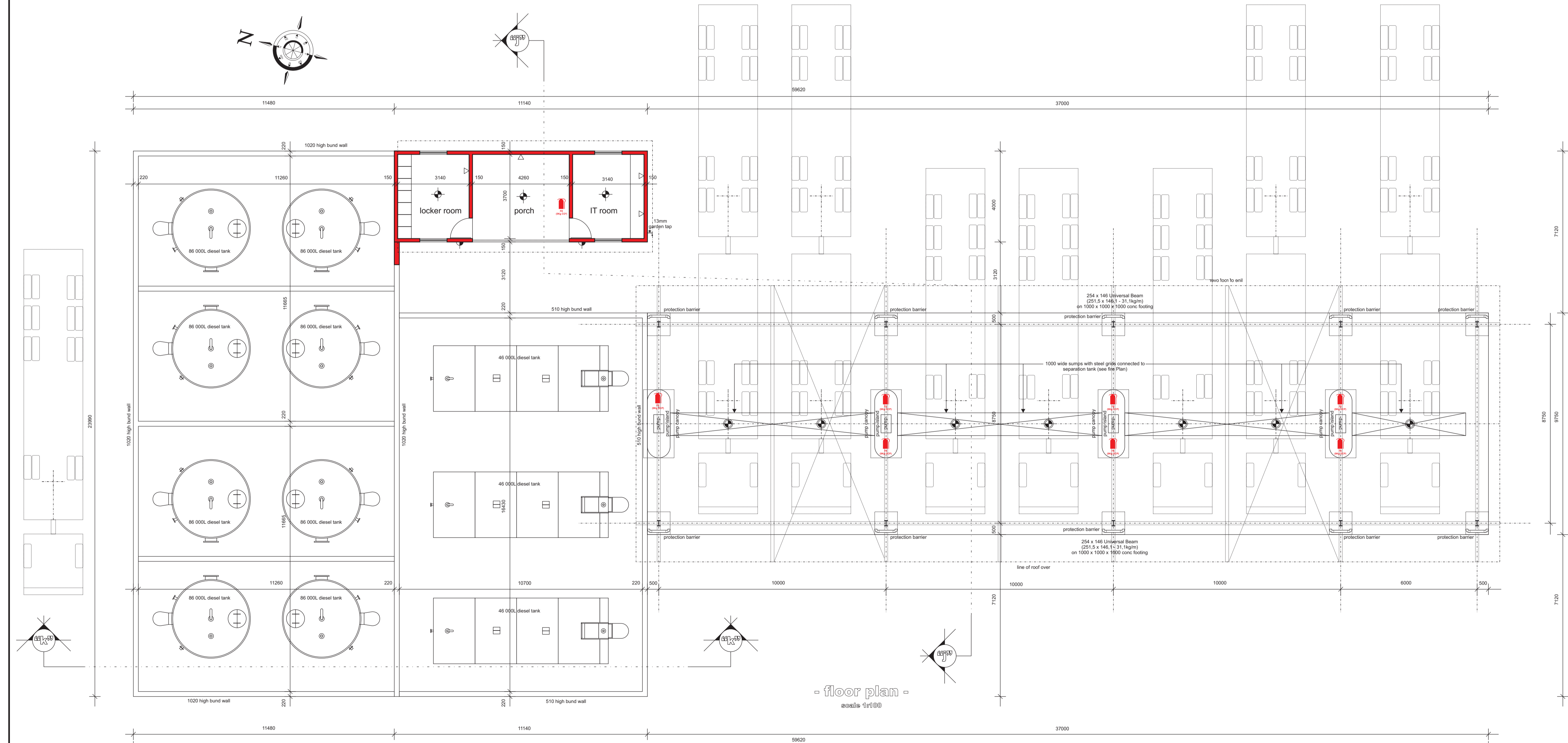
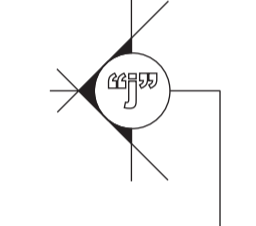
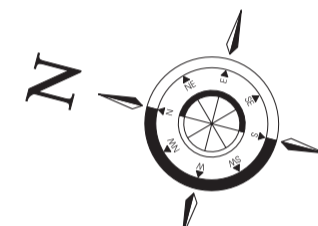
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PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mossdustria Township
MOSELBAY
for
Confuel (Pty) Ltd

signature owner: _____ date _____

drawing
Fueling Station Plan & Sections

J Keyser in association with **WJF Botha**
PrSArchT

SACAP Registration Number: **ST1177**
PO Box 5483
Coca Park
1461
Cellular Numbers: J Keyser +27 62 177 8198
WJF Botha +27 63 298 4938

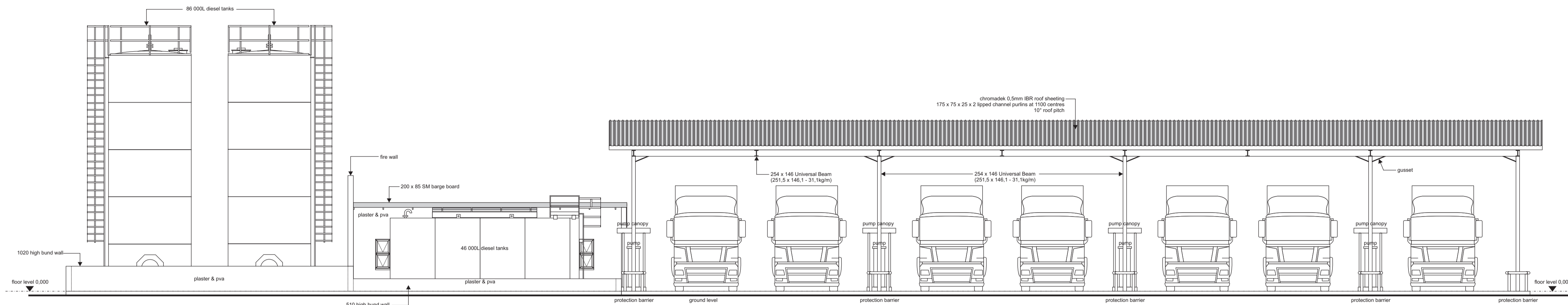
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drawn	scales	drawn
J Keyser	As Shown	August 2022

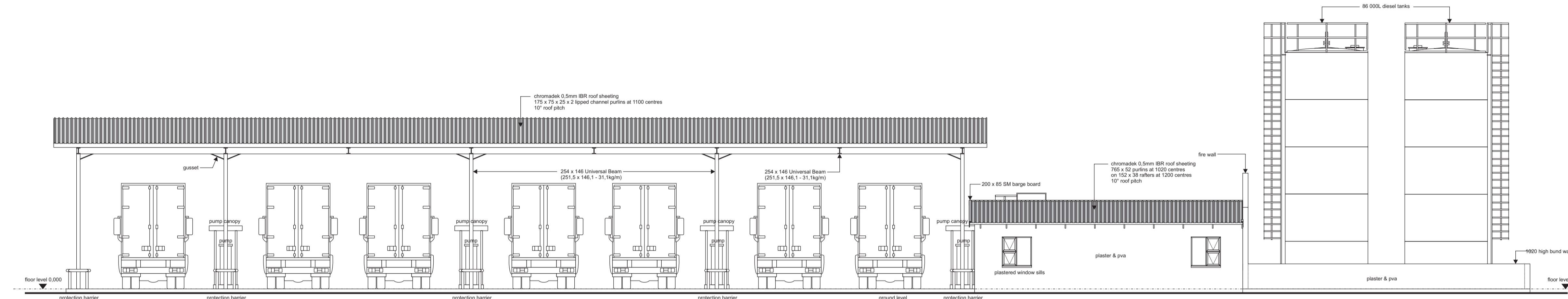
area			
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Wash Bay	-	-	-
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Diesel Depot	-	-	-
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Rev 2	Locker Room/IT Room added	Date	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	Date	January 2023

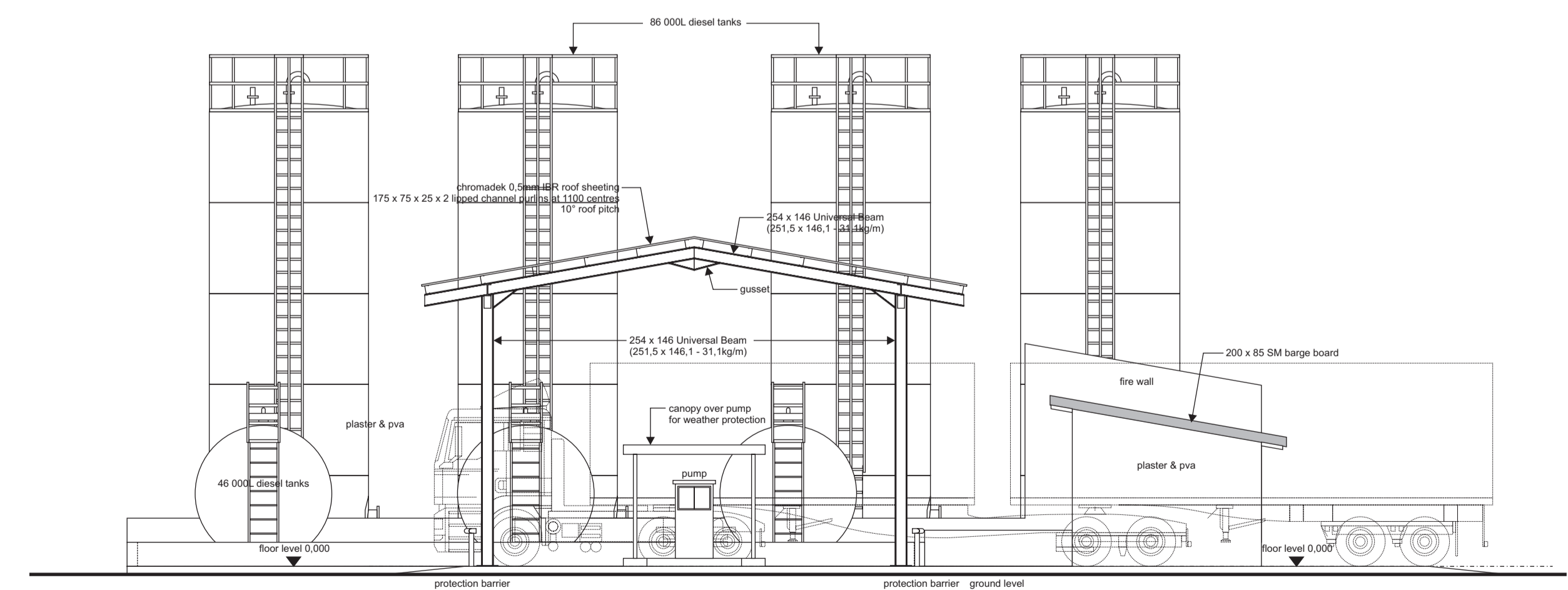
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Sheet 5 of 9 Sheets



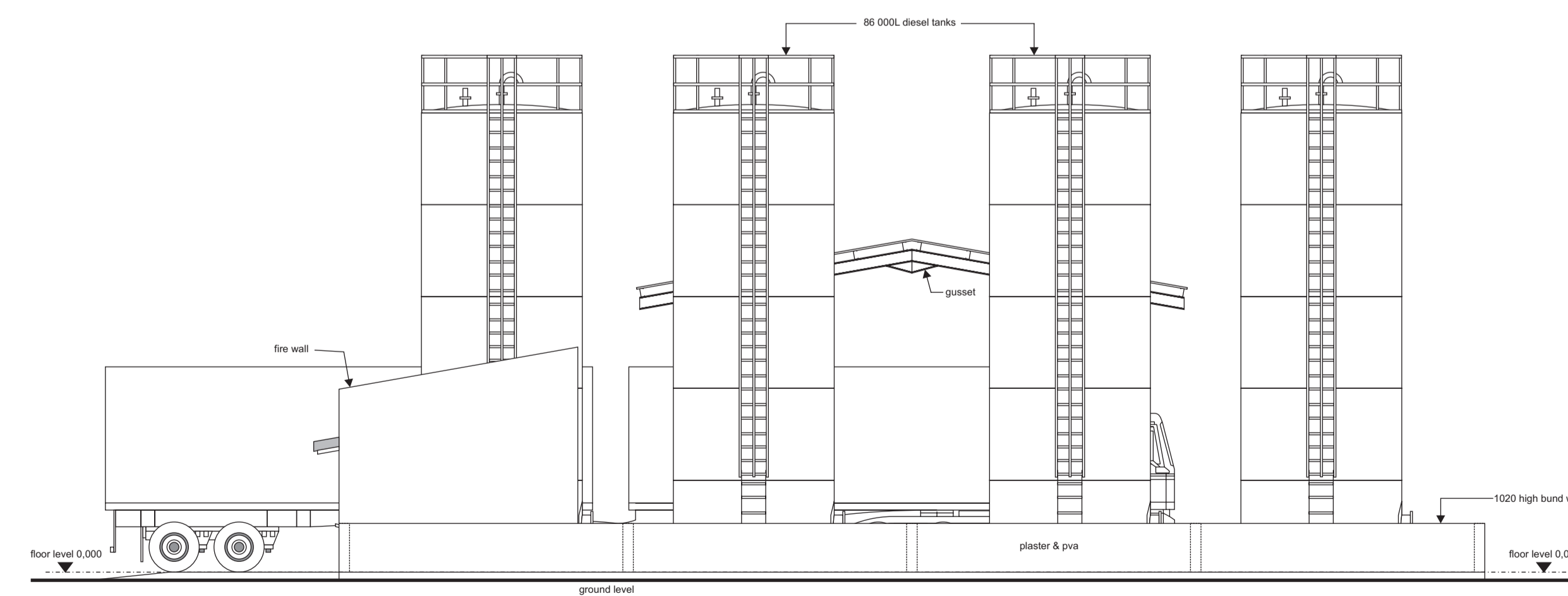
- west elevation -
scale 1:100



- east elevation -
scale 1:100



- south elevation -
scale 1:100



- north elevation -
scale 1:100

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Internal electrical installation to comply with SABS 0142.
TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
No Solar Geysers or Solar Panels to be visible from any street.
900mm wide grey cement paving around buildings to prevent erosion from rain water.
Staining and/or sealing to external timber doors - Natural wood colour.
Colour/finish of any exposed timber - Treated with Carbolinum.
All Buildings to be built in accordance with the approved building plans.
Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES

5.5mm rhino ceiling boards - R-Value 0.045
Approved underlay - R-Value 0.75
150mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3.38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mosselbaai Township
MOSELBAAI
for
Confuel (Pty) Ltd

signature owner: _____ date _____

drawing
Fueling Station Elevations

J Keyser in association with **WJF Botha**
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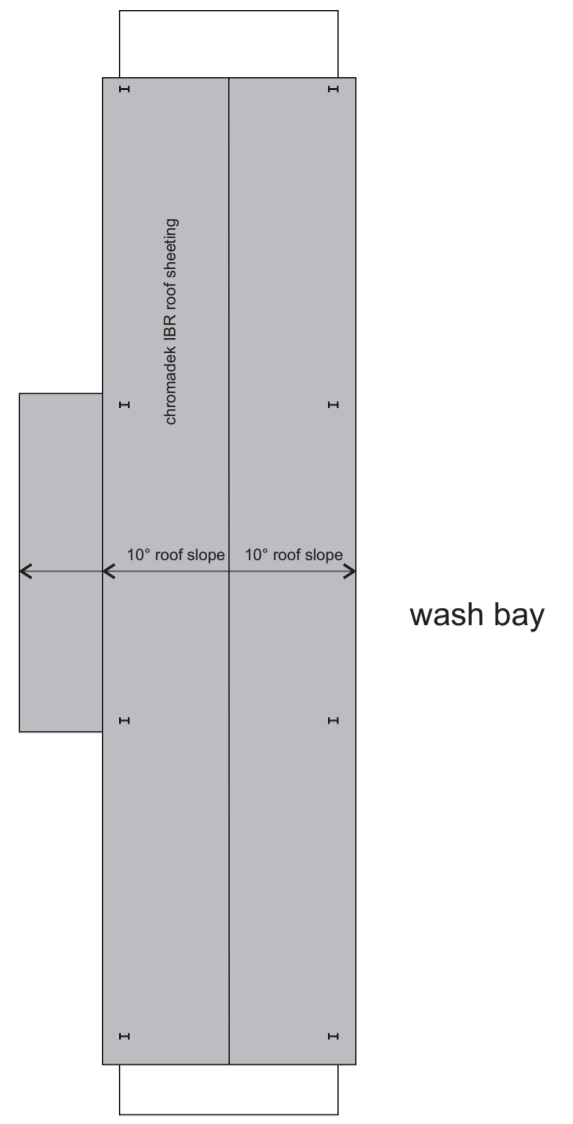
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drawn	scales	drawn
J Keyser	As Shown	August 2022

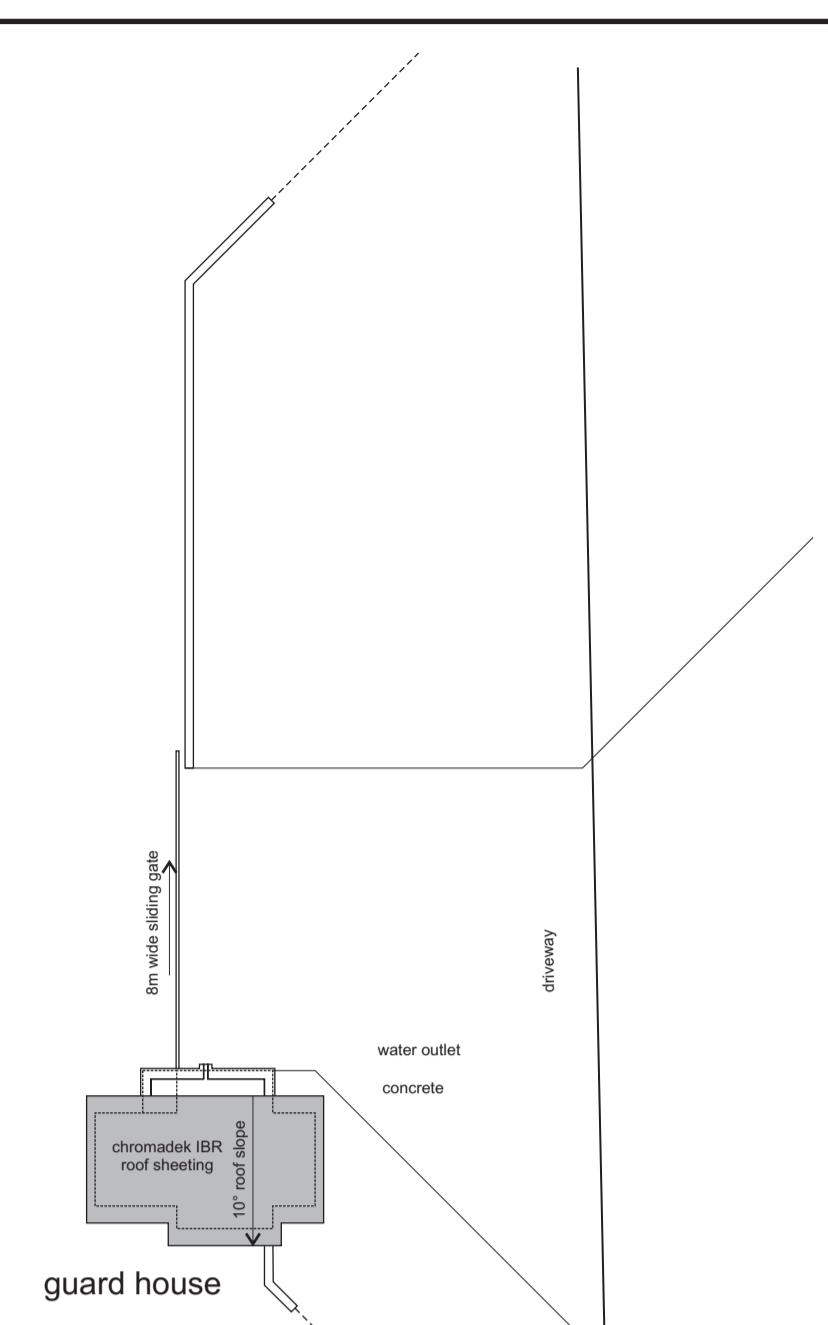
area			
Main Office	-	165.84m ²	-
Entrance Porch	-	8.09m ²	-
Abution	-	-	172.64m ²
Laundry	-	-	36.69m ²
Dining Area	-	-	14.20m ²
Cafeteria	-	-	58.77m ²
Store	-	-	44.46m ²
Bulk Office	-	60.25m ²	-
Porch	-	8.75m ²	-
Guard Room	-	16.68m ²	-
Entrance Porch	-	1.01m ²	-
Filling Station	-	-	360.75m ²
Wash Bay	-	-	19.69m ²
Diesel Depot Office	-	13.76m ²	-
Diesel Locker Room	-	13.76m ²	-
Diesel Depot Cov Pado	-	17.84m ²	-
Diesel Depot	-	-	45.30m ²
			465.30m ²
			1477.28m ²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023

File Name: 56 and 57 Mosselbaai - Johan Pretorius - New Truck Stop (FINAL).dwr
Sheet 6 of 9 Sheets



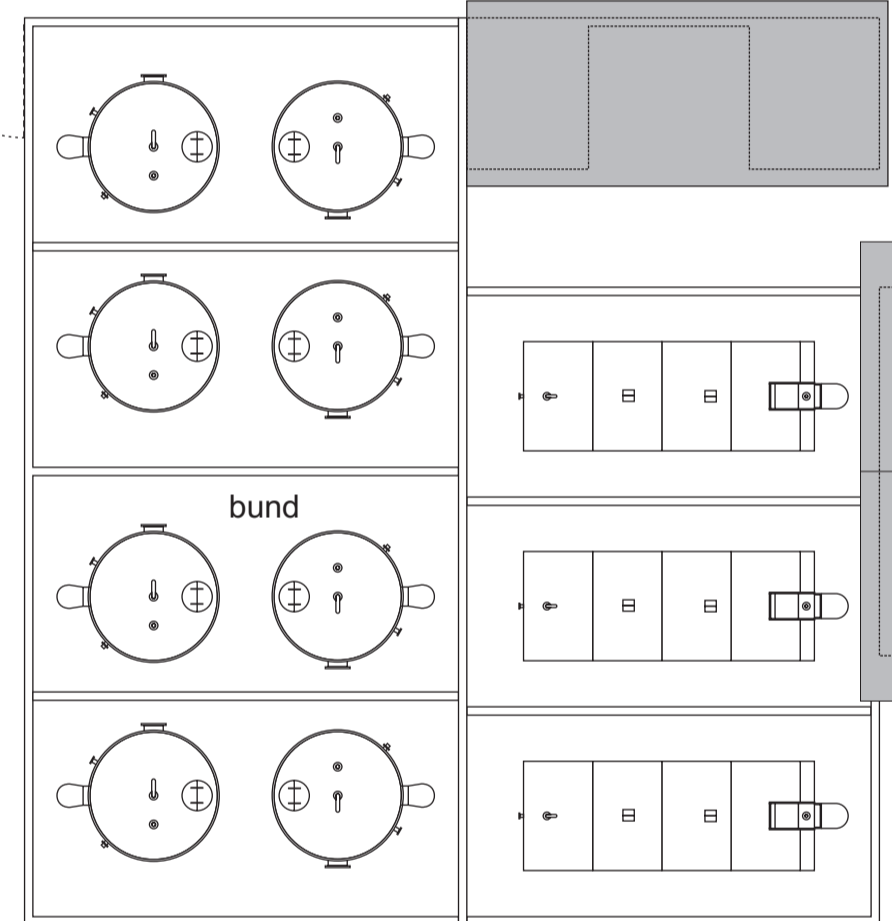
wash bay



guard house

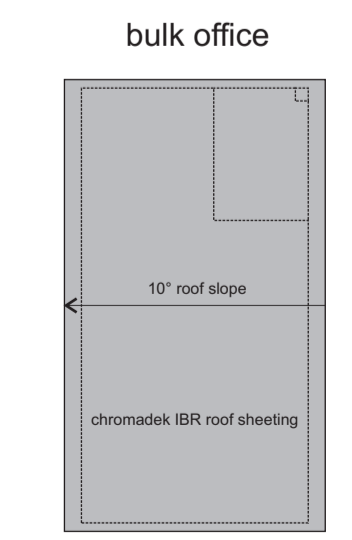
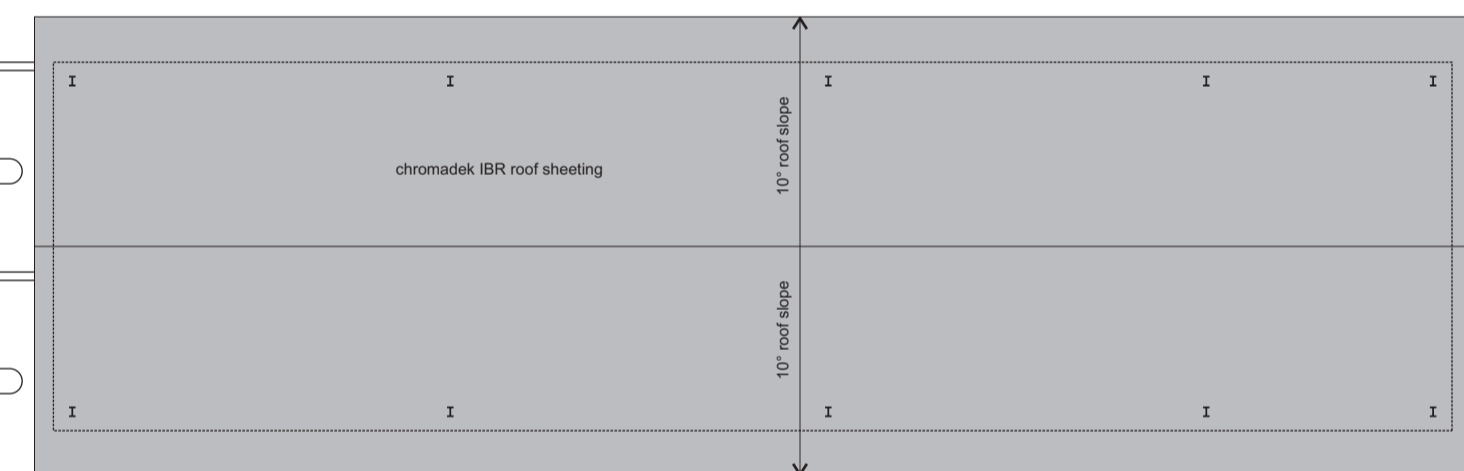
1800 high fence with 6000 wide gate

office

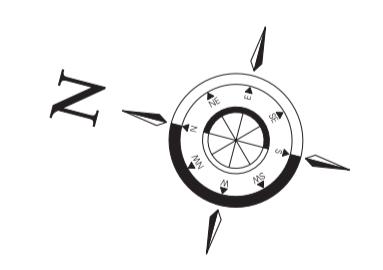


fueling station

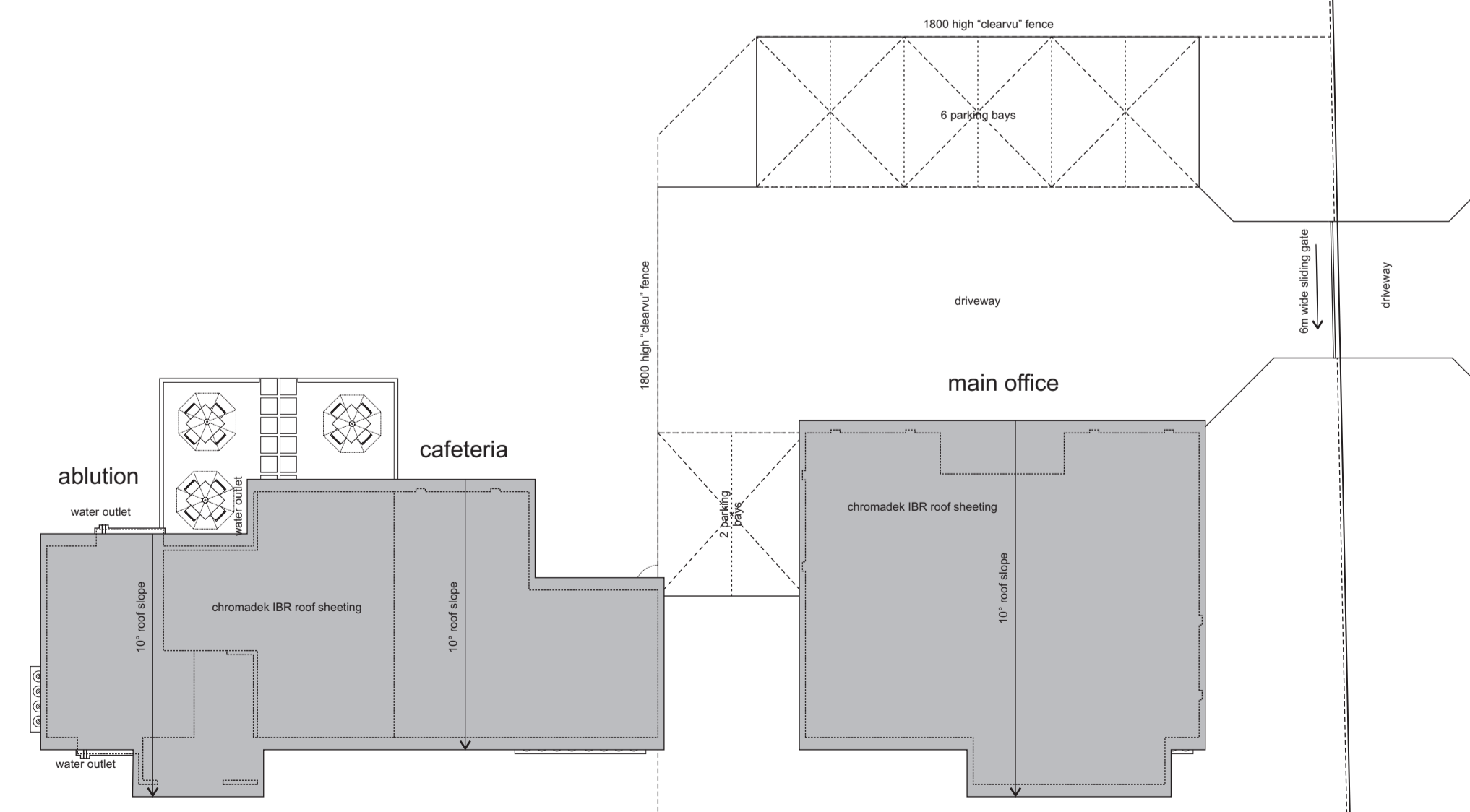
bund



bulk office



- roof plan -



ablation

cafeteria

main office

GENERAL NOTES
 All work to be in accordance with the National Building Regulations and the Local By-laws.
 Any errors, discrepancies or omissions are to be reported immediately.
 All levels, dimensions and steps are to be checked and verified on site before commencement of any work.
 Work to figured dimension only - drawings are not to be scaled.
 Foundations to boundary walls are not to encroach any boundaries.
 All electrical and plumbing work are to be carried out by registered tradesmen.
 Brick re-inforcing to be installed every 5th course in brickwork.
 Two courses of brick re-inforcing at window head height.
 Provide dpc to walls at floor slab level, under all window sills and to all changes in floor level.
 Vertical dpc where required.
 Windows to be a minimum of 10% of floor area with opening sections as prescribed.
 All re-inforced concrete work and floor slabs to engineer's detail.

DRAINAGE NOTES
 Minimum depth of sewer to be 500mm.
 All plumbing and drainage work and installation of sanitary fittings to comply to the relevant Local Authority by-laws, regulations and requirements.
 Provide IE's to all bends, junctions, change of direction and gradients with suitable markers.
 Provide IE's to all bends, junctions, change of direction and gradients with suitable markers at ground level.
 Fall of all drain pipes to be between 1:60 and 1:40.
 Provide approved reseal traps to all waste fittings.
 Provide AE at foot of all soil stacks.
 IE's to waste pipes to be fully accessible at all times.
 All drain pipes passing under building or footings to be encased in concrete of minimum 100mm thickness around pipe.
 Pipe sizes: Soil pipes, vents & wc 110mm
 Asew 50mm
 Bath, shower and wash troughs 38mm
 Basins and bidets 32mm

GLAZING NOTES
 Under 0,75m² 3mm glass
 0,75 - 1,50m² 4mm glass
 1,50m² and above 6mm glass
 All fenestration to be in comply with the requirements of SANS 204 and SANS 10400-XA

ROOF NOTES
 Sheeted Roofs
 0,5 mm thick S-rib Chromadek Dolphin Grey roof sheeting on 76 x 52 purlins.
 Trusses of 114 x 38 Grade 4 timber and 228 x 38 rafters (bolted) at 1200 centres or to manufacturer's specification.
 76 x 38 wall plates.
 Roof pitch to be as shown on section.
 Roof overhang to be as shown on section.
 All ceilings to owners specification.
 Flashing if and where required.
 Aluminium powder coated gutters & down pipes - To match wall colour (where applicable).
 200 x 80 SM barge boards - same as roof colour.
 900 wide paved strip around perimeter of dwelling.

FLAT CONCRETE ROOFS (Where applicable)
 Concrete roofs to be in accordance with engineer's design.

STAIR NOTES (Where applicable)
 All risers to be 170mm.
 All treads to be 300mm.
 1000mm high balustrades.
 1000mm high handrails.
 Minimum Stair Headroom to be 2100mm.
 All work to be in accordance with the National Building Regulations and the Local By-laws.

CHIMNEYS
 All chimneys to comply with Part V of the National Building Regulations where applicable.

POOLS
 Pool to be finished only in a Charcoal or Portland Grey colour.
 Pool safety to comply with National Building Regulations and SABS 1390 where applicable.

UTILITY NOTES
 External wall colour - Earthy colours.
 All external windows and doors to be charcoal aluminium.
 Internal electrical installation to comply with SABS 0142.
 TV aerials, satellite dishes and air-conditioners to be positioned to have minimum visual impact (to be screened or painted to match exterior colour).
 No Solar Geysers or Solar Panels to be visible from any street.
 900mm wide grey cement paving around buildings to prevent erosion from rain water.
 Staining and/or sealing to external timber doors - Natural wood colour.
 Colour/finish of any exposed timber - Treated with Carbolinium.
 All Buildings to be built in accordance with the approved building plans.
 Solar panels to be placed in inconspicuous position where applicable.

SPECIAL ROOF NOTES
 5,5mm rhino ceiling boards - R-Value 0,045
 Approved underlay - R-Value 0,75
 135mm thick non-combustible (in accordance with SANS 10177-5) fibre blanket - R-Value 3,38

All floor slopes including bunds to be 1:100 to sumps and bund drainage points.
 All bund outlets to have lockable steel gate valves.

PROPOSED NEW TRUCK STOP
 on
Stands 56 and 57 Mossdustra Township
MOSSELBAY
 for
Confutal (Pty) Ltd

signature owner: _____ date _____

drawing
 Roof Plan

J Keyser in association with **WJF Botha**
 PrSArchT

SACAP Registration Number: **ST1177**
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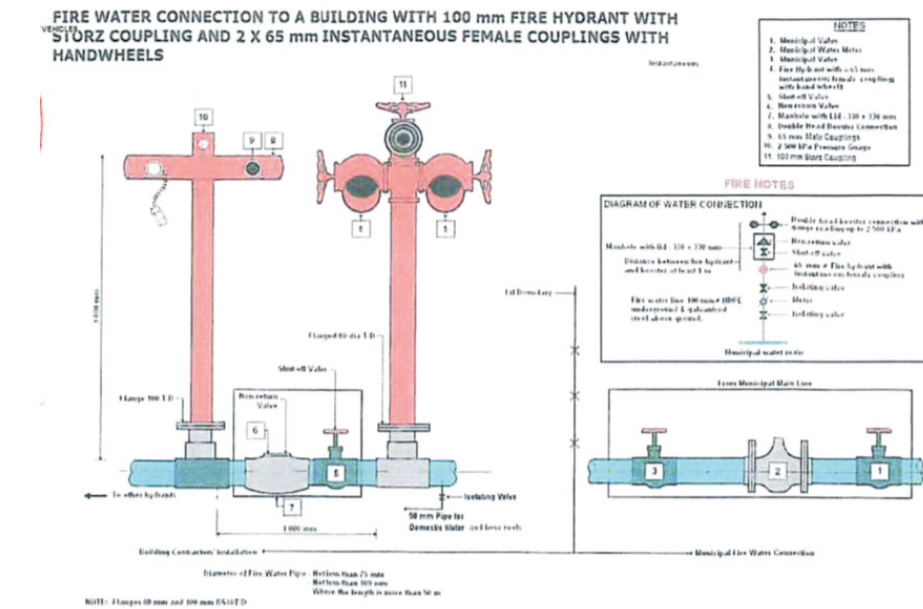
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drawn
 J Keyser
 scales
 As Shown
 drawn
 August 2022

area	Main Office	Entrance Porch	Ablution	Laundry	Dining Area	Cafeteria	Store	Bulk Office	Porch	Guard Room	Entrance Porch	Filing Station	Wash Bay	Diesel Depot Office	Diesel Locker Room	Diesel Depot Cov Pab	Diesel Depot	Total Area	
	-	165,84m ²	8,89m ²	-	-	-	-	60,25m ²	8,75m ²	18,68m ²	1,01m ²	360,75m ²	164,84m ²	13,76m ²	13,76m ²	17,84m ²	45,30m ²	465,30m ²	1477,28m ²

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023

File Name:
 56 and 57 Mossdustra - Johan Pretorius - New Truck Stop (FINAL).ldr
 Sheet 8 of 9 Sheets



- FIRE NOTES ON ABOVE - GROUND DIESEL TANKS:**
- All work to comply with Act 103 of 1977, SANS 10400 - 2020, SANS 10131, SANS 10089 and the local fire department by-laws.
 - Tanks to be installed in accordance with SANS 10131 and SANS 10089 and associated SANS codes included in the before-mentioned codes for open air bulk fuel storage.
 - Tanks to be separated 1.5m from each of tank and each tank from bund wall.
 - The bund area to be filled with Kotze (crushed stones 32mm x 250mm high).
 - All bunds capable of containing the contents of the largest tank plus 10% - see bund calculations.
 - A 100mm water ring main to be provided with a double head booster connection, an isolation valve, non return valve and one head fire hydrant at the main entrance complying with SANS 1128.
 - The rest of the premises to be provided with 3 x double head fire hydrants and 2 x single head fire hydrants complying with SANS 1128.
 - Two x foam platforms consisting each with one x oscillating foam monitor, automatic self induction foam system. The monitor capable of providing 4800 l/min foam solution at 3% 4% 5 x 200 litre AFFFF foam concentrate drums.
 - Each hydrant to be provided with a hose box, 2 x 23m fire hoses and branch complying with SANS 1128.
 - Two x 50 litre foam trolleys to be provided, one on each of foam platform complying with SANS 1010 or SANS 1151 and SANS 11501.
 - All buildings on site to be equipped with 30m FHR at a rate of 1 per 500m² complying with SANS 543.
 - Fire extinguishers to be provided for offices (G1 occupation) at 1 per 200m² complying with SANS 10095-1. Must be hung on purpose made brackets on backing boards or in cabinets if outside.
 - Lightning conductor to be provided complying with SANS 10313 and SANS 62305-3.
 - Tanks to be earthed in compliance with SANS 10089 and SANS 10123.
 - All electrical equipment on site to be Zone 2 and complying with SANS 10168, SANS 10089 and SANS 10142.
 - The filling point shall be so located that the tanker is able to leave the premises without having to reverse and a driver can park safely when deliveries are being made. When limited access prevents tankers from parking or entering the premises, filler sites shall be designed by the engineering profession to accommodate them and complying with SANS 10095-1. All filling points on tanks shall be clearly identified to indicate the type of petroleum that the tank holds and the capacity of the tank. The installation of submersible pumps, dispensers and suction pumps shall be in accordance with SANS 10095-3.
 - All escape routes and fire equipment to be indicated with appropriate signage complying with SANS 1186.
 - Evacuation plans and procedures to be drawn up.
 - Provisioning of water supply to comply with SANS 10400 T-section, W-section and SANS 10252.

FIRE PROTECTION & INSTALLATION

REFERENCE

- Fire Extinguisher (8Kg Dry Chemical Powder)
 - Fire Extinguisher (4.5Kg Dry Chemical Powder)
 - Fire Extinguisher (10Kg Carbon Dioxide)
 - Fire Extinguisher (8Kg Carbon Dioxide)
 - 30m Hose Reel
 - Escape Route
 - Double Headed Fire Hydrant (FH)
 - Fire Hydrant (FH)
 - Double Booster
 - Non Return Valve
 - Isolation Valve
 - 13mm garden tap - 6
- Bunds All floor slopes including bunds to be 1:100 to sumps and bund drainage points. All bund outlets to have lockable steel gate valves. Filler Points in 500 x 500 x 500 drum connected to ø200mm steel pipe to separation tank.

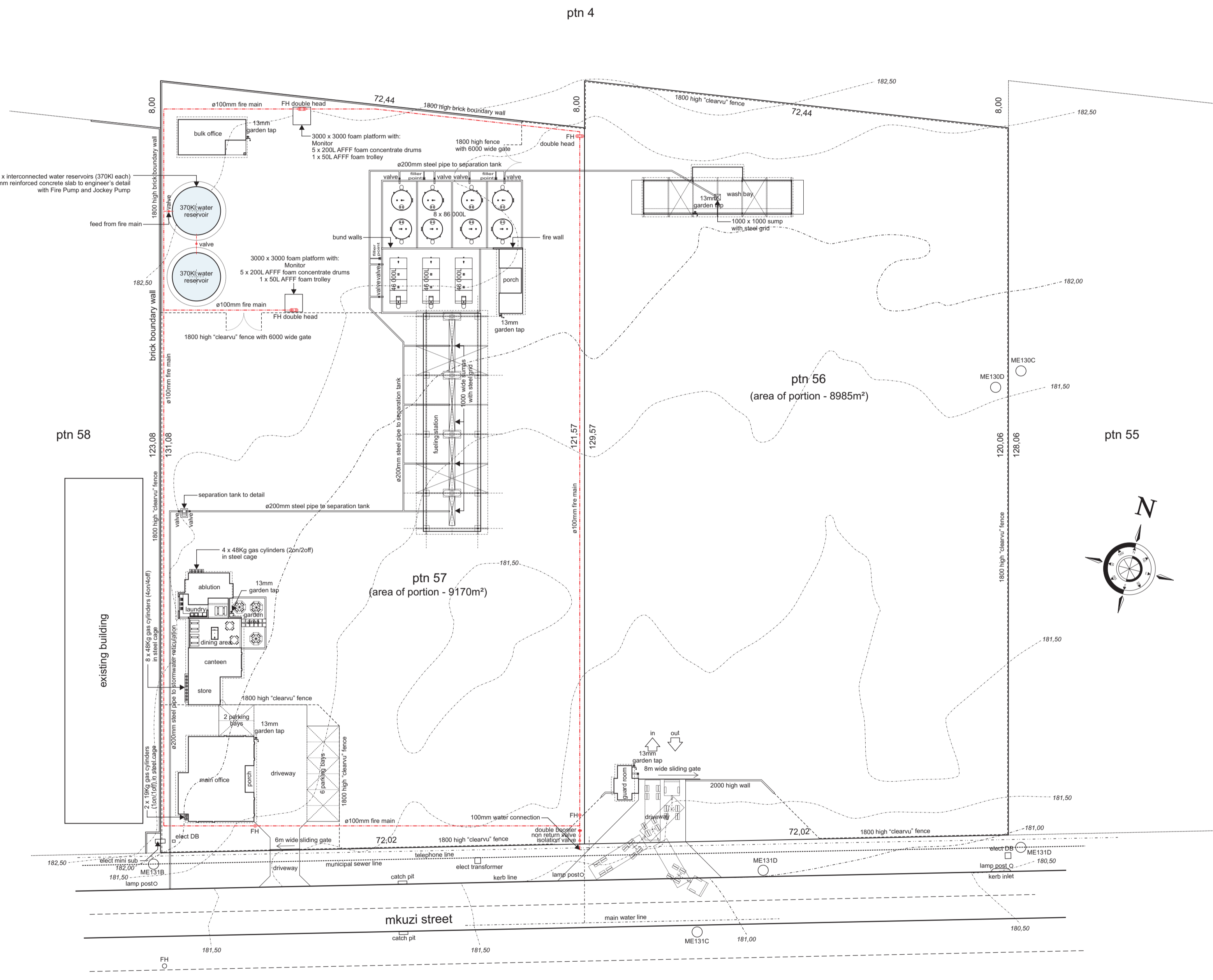
WATER CALCULATIONS:
Foam Monitors delivery: 4800 l/min x 2 = 9600 l/min x 60 minutes = **576 000 litres**
Fire hydrant supply: 1200 l/min x 2 = 2400 l/min x 60 minutes = **144 000 litres**
Total water required: 720 000 litres - to be provided in two steel tanks each with capacity of 370 000 litres (each tank 8.2m wide x 7m high on 150mm reinforced concrete foundation) thus giving **Total water in tanks: 740 000 litres**.

DIESEL TANKS BUND CAPACITY:
Bund for 688 000 litre diesel tanks: 8 x 86 000 litre vertical diesel tanks to be placed in on bunded area as follows:
Length x Width x Height: 11,665m x 11,480m x 0,95m = 127,219m³ or 127219 litres
127219 litres - 10% = 127222 litres; 127219 - 127222 = **114,487 litres which will contain the largest tank capacity of 86 000 litres.**
Bunded Capacity = 113827 litres - the 4 x 100 000 litre vertical tanks will also be separated with a 220mm x 450mm brickwall for spillage containment.
DIESEL TANKS BUND CAPACITY:
Bund for 128 000 litre diesel tanks: 3 x 46 000 litre horizontal diesel tanks to be placed in one bunded area as follows:
Length x Width x Height: 16,2m x 10,7m x 0,30m = 52,000m³ or 52 000 litres
52 000 litres - 10% = 5 200 litres; 52 000 - 5 200 = **46 800 litres which will contain the largest tank capacity of 46 000 litres. Bunded capacity = 52 000 litres.**
Each bunded area will be provided with a 200mm steel drain pipe and lockable shut-off valve. The shut-off valves connected to a 200mm steel pipe or concrete trench with steel grid connected to a 1500mm x 1200mm x minimum 425mm deep separating pit.

NOTES ON THE LPG INSTALLATION AREAS:

- No LPG gas may be supplied or used until the installation is registered with the local emergency services.
- This LPG gas installation to comply with SANS 10087 part 1 and local emergency services by-laws at all times.
- All signage and danger notices must be displayed and comply with SANS 1186.
- All safety distances must comply with SANS 10087.
- Area of at three metres around the cage must be kept clear of combustible materials.
- 2 x 8Kg dry powder Fire Extinguishers must be supplied next to the LPG gas storage area, complying with SANS 810.
- All related electrical work must comply with SANS 10108.
- Building work to comply with SANS 10400 requirements.
- Cylinders to be housed in an expanded metal cage - see plan for details.
- A certificate of compliance on LPG gas installation to be provided by a competent service provider.

- separation tank detail -
scale 1:100



- site plan -
scale 1:500

PROPOSED NEW TRUCK STOP
on
Stands 56 and 57 Mosselbaai Township
MOSELBAY
for
Confuel (Pty) Ltd

signature owner: _____ date _____

drawing
Fire Plan

J Keyser in association with **WJF Botha**
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area			
Main Office	-	165,84m²	-
Entrance Porch	-	8,09m²	-
Abution	-	172,64m²	-
Laundry	-	36,69m²	-
Dining Area	-	14,20m²	-
Canteen	-	58,77m²	-
Store	-	44,46m²	-
Bulk Office	-	25,49m²	-
Porch	-	60,25m²	-
Guard Room	-	8,75m²	-
Entrance Porch	-	18,68m²	-
Filling Station	-	1,01m²	-
Wash Bay	-	69,00m²	-
LPG	-	19,69m²	-
Diesel Depot Office	-	300,75m²	-
Diesel Locker Room	-	13,76m²	-
Diesel Depot Cov Pabls	-	13,76m²	-
Diesel Depot	-	17,84m²	-
	-	45,30m²	-
	-	466,30m²	-
Total Area	-	1477,28m²	-

Rev	Description	Date
Rev 1	Fire Plan added	22 August 2022
Rev 2	Locker Room/IT Room added	12 August 2022
Rev 3	Tank Sizes reduced/Wall thickness reduced using Maxi Bricks	January 2023

File Name: 56 and 57 Mosselbaai - Johan Pretorius - New Truck Stop (FINAL).dwg
Sheet 9 of 9 Sheets



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E-mail: barry.millsteed@millsteedgeological.com

26 March 2023

AHSA Consulting (Pty) Ltd
40 Brassie Street
Lakeside
7945
South Africa

Telephone: (021) 7881025
Email: jason@ahsa-consulting.co.za

Attention: Dr J Orton

Re: Letter of recommendation for exemption from Palaeontological Impact Assessment Study for a proposed truck stop facility, and associated infrastructure, to be located upon Erven 56 and 57 in Mossdustria, Mossel Bay Local Municipality, Garden Route District Municipality

Dear Dr Orton,

This letter is in regard to your request that I examine the available information pertaining to a proposed Truck Stop development, and associated infrastructure, to be located upon Erven 56 and 57 in Mossdustria, Mossel Bay Local Municipality, Garden Route District Municipality. That request flows from the identification of the high palaeontological sensitivity of the project area as indicated on the SAHRIS Palaeosensitivity map. Following that review, you further requested that I make any recommendations necessary concerning future Palaeontological Impact Assessment works that will be required. The result is that this missive constitutes a letter of recommendation for exemption from the need for any Palaeontological Impact Assessment prior to the commencement of the project, and that no additional investigations will be required. This recommendation is subject to the project being constructed wholly within the area reported upon herein, and that the project infrastructure remains as outlined herein.

1 Project location

Confuel (PTY) Ltd is proposing the development of a truck stop and associated infrastructure on Erven 56 and 57 in Mossdustria located within the Mossel Bay Local Municipality, Garden Route District Municipality Figures 1 and 2.

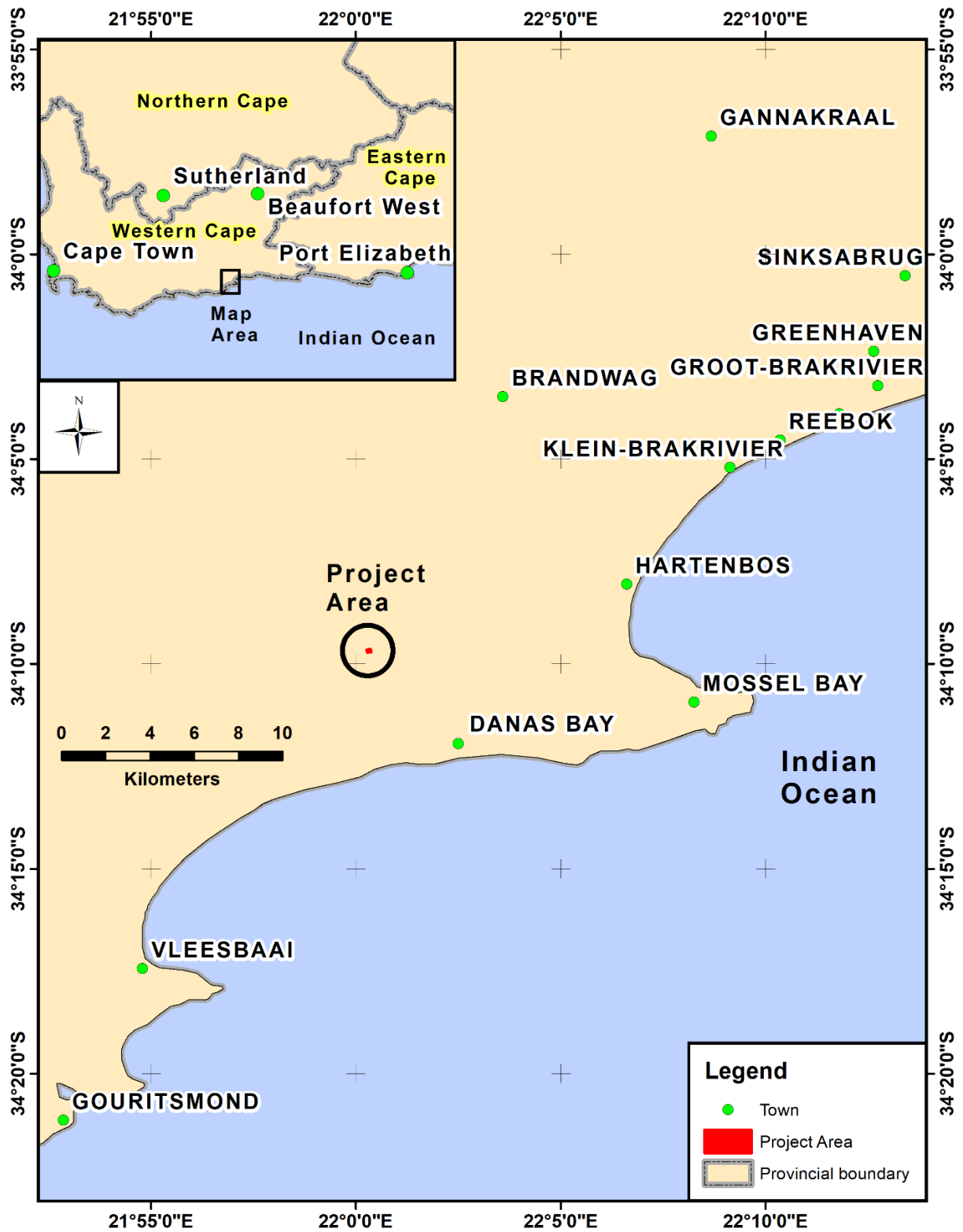


Figure 1: Location of the proposed truck Stop development (the red polygon within the black circle).

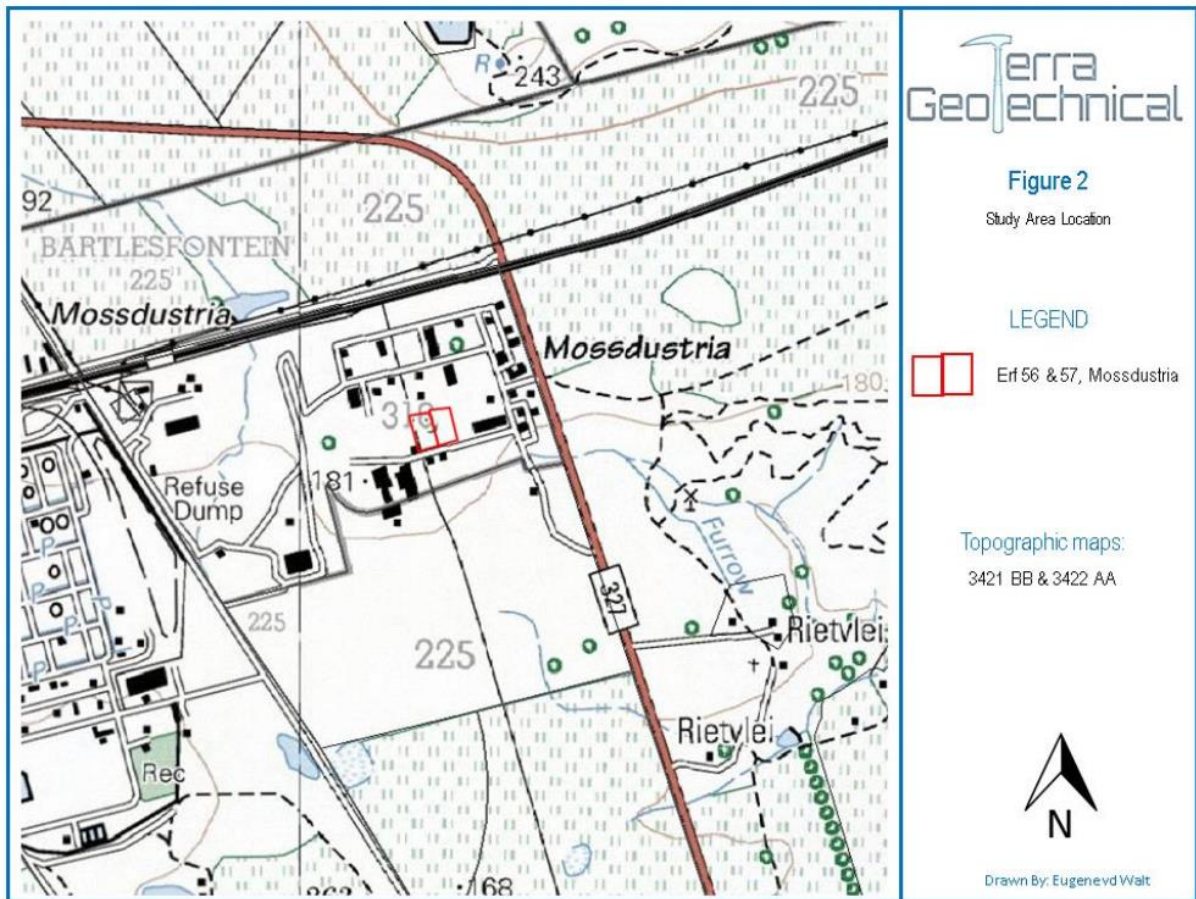


Figure 2: Close-up view of the location of the project area (Terra-geotechnical, Feb 2023, unpubl.).

2 Geology

The project area is completely underlain by bedrock of the Nardouw Subgroup, Table Mountain Group (Figure 3). Thamm and Johnson (2006) indicate that East of 21° E the Nardouw Subgroup consists of the lower Goudini Formation, the middle Skurweberg Formation, and the upper Baviaanskloof Formations (Table 1). Based on the available geological maps of the study area the Goudini Formation appears to be absent in the project area, with only the Skurweberg and Baviaanskloof Formations present. The Skurweberg Formation, in the west of the basin, is characterised by thick-bedded, profusely cross-bedded, white-weathering, quartzitic sandstone and minor conglomerate and is generally 200-400 m thick. The Baviaanskloof Formation in the west of the basin is up to 200 m thick and comprise light-coloured, feldspathic, quartzitic sandstone which is underlain and overlain by dark, fine-grained sandstone and mudrock (Thamm and Johnson, 2006).

The Nardouw Subgroup in the western part of the basin (containing the study area) has been described by Rust, 1967, 1973; Thamm, 1984, 1987; Theron and Thamm, 1990. Thamm and Johnson (2006) summarised the findings of these workers to suggest that the western portion of the basin was deposited by nearshore processes on a stable, shallow-marine shelf which graded into an extensive fluvial coastal plain along the northern basin margin. Johnson (1976) interpreted the environments of deposition in the east of the basin as follows. The upper part of the Goudini Formation and the whole of the Skurweberg Formation formed in a braided stream environment, based on the presence of uniform, unimodal, south-directed palaeocurrents in the strata. The overlying mudrocks, rhythmites and dark sandstones of the Baviaanskloof Formation differ in that that its mudrocks, rhythmites and dark sandstones clearly represent low-energy marine shelf conditions. Johnson (op. cit.) further conjectured

that the clean sandstones in the middle part of the Baviaanskloof Formation (i.e., the Kareedouw Member) suggest shoreface and foreshore environments (Thamm and Johnson, 2006).

2.1 Palaeontological potential

2.1.1 Bedrock

Thamm and Johnson (2006) report that in places, brachiopod remains are common towards the top of the Bavianskloof Formation. A more detailed review of the palaeontology of the Bavianskloof Formation is provided by Almond (2016 unpubl.) who indicated that “A distinctive marine shelly invertebrate faunule of Early Devonian, Malvinokaffric aspect characterises the upper portion of the Baviaanskloof Formation from the Little Karoo eastwards along the Cape Fold Belt”. Dr Almond’s summary indicates that the faunule is dominated by the brachiopod *Pleurothyrella Africana*. He summarised the works of Haughton et al., (1937), Boucot et al., (1963), Rossouw et al., (1964), Johnson (1976), Toerien and Hill (1989), Hill and Johnson (1991), Theron et al., (1991), Almond in Rubidge et al., (2008) and Almond (2009) to indicate that associated with *D. Africana* are rare homalonotid trilobites and a scarce association of articulate and inarticulate brachiopods, nuculid and other bivalves, plectonotid "gasteropods" and bryozoans. Almond (2016 unpubl.) further indicates the presence of trace fossils which include “locally abundant, mud-lined burrows (*Palaeophycus*, *Rosselia*) and rare giant rusophycid burrows of Devonian aspect (*R. rhenanus*) that are attributed to homalonotid trilobites. In addition to the fauna and trace fossil assemblages the unit has also been documented to contain plant macrofossil material attributable to *Dutoitia* elsewhere in South Africa (Anderson and Anderson, 1985). This plant material is the oldest known vascular plant macrofossil material in Southern Africa.

The fossil assemblages of the Bavianskloof Formation appear to be sporadic in occurrence and dominated by only one taxon (the brachiopod *Pleurothyrella Africana*); other taxa are present, but sparsely so.

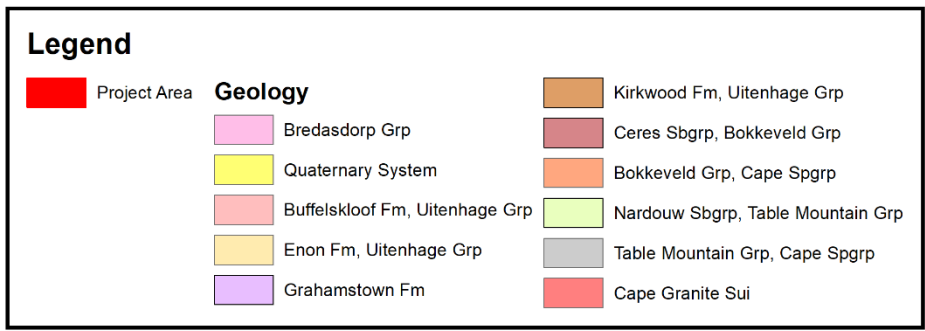
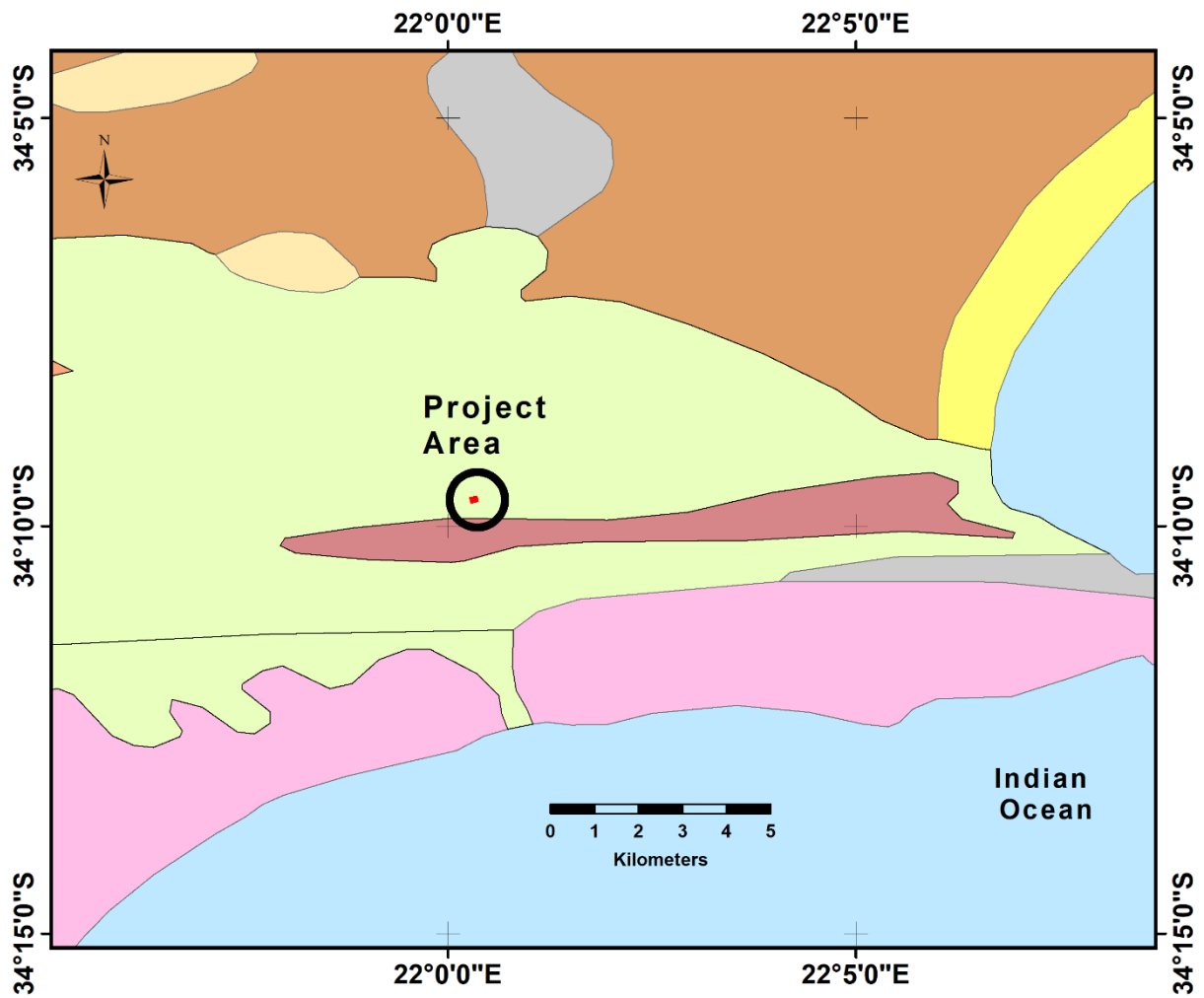


Figure 3: Bedrock geology of the area underlying the proposed Truck Stop area (the red polygon lying within the black circle), and the surrounding region.

Table 1: Stratigraphy, lithology, and palaeoenvironments of the Bokkeveld Group. Maximum stratigraphic thickness of each of the units is provided by the number in parenthesis (modified from Thamm and Johnson, 2006).

AGE	WEST OF ~21°E		EAST OF ~21°E		LITHOLOGY	PALAEOENVIRONMENTS
		FORMATION		FORMATION		
DEV.	NARDOUW SUBGROUP	Rietvlei (200)	NARDOUW SUBGROUP	Baviaanskloof (200)	Sandstone (+ shale in east)	Shallow marine (+ offshore shelf in east)
SILURIAN		Skurweberg (300)		Skurweberg (400)	Sandstone (thick-bedded)	Fluvial braid-plain, shallow marine
		Goudini (200)		Goudini (300)	Sandstone (red-brown)	Shallow marine, fluvial braid-plain
ORDOVICIAN		Cedarberg (120)		Cedarberg (50)	Shale, siltstone	Offshore shelf
		Pakhuis (80)		-	Diamictite, sandstone	Glacial
		Peninsula (2000)		Peninsula (2700)	Sandstone	Fluvial braid-plain, shallow marine
		Graafwater (430)		Sardinia Bay (900?)	Sandstone, siltstone, shale	Distal fluvial, tidal flat, shallow marine
		Piekenierskloof (900)			Sandstone, conglomerate	Fluvial braid-plain

but encompass a wide variety of forms, including trace fossils and extremely rare plant macrofossils. Given the overall paucity of fossil assemblages (particularly in the western extent of the basin and the dominance of a single taxon in those assemblages the palaeontological potential of the Bavianskloof Formation is rated as moderate. Due to the uncommon nature of fossils within these sediments, their scientific importance should be rated as high.

2.1.2 Regolith

The geotechnical report titled “Geo-Environmental Report in support of the proposed Truck Stop on Erven 56 and 57 Mossdustria, Mossel Bay Western Cape” prepared by Terra Geotechnical (Terra Geotechnical, February 2023) indicates that the land surface of the project area has been penetrated by nine test pits. The results of the test pitting programme indicate that the project area is ubiquitously covered by a combination of fill/alluvium that is of human origin, an underlying clayey horizon, and a basal layer of reworked residuum (scattered to frequent highly weathered sandstone cobbles in a matrix of slightly moist, orange and white mottled grey, clayey/silty sand) which collectively sit upon the residual residuum (Table 2). It is evident from Table 2 that the soil profile is every where greater than 1 m in thickness, and is overwhelmingly much thicker.

The palaeontological potential of the fill/reworked alluvium, clayey alluvium, and reworked residual residuum is considered to be nil. Any fossil materials that would have been originally present will have been destroyed by the weathering process. Any fossil material transported to the project area will be out of original context, and be scientifically worthless.

Table 2: Soil profile summary (source: Terra Geotechnical, February 2023; unpubl.).

Soil Profile Summary				
Test Pit	Horizon Depth (mm)			
	Soil Of Human Origin or Altered by Human Intervention	Alluvium	Residuum	
	Fill/Reworked Alluvium	Clayey	Reworked Residual	Residual
TP1	0-300	300-800	800-2100	-
TP2	0-1100	-	1100-2200	-
TP3	0-1000	1000-2400	-	-
TP4	0-300	300-800	800-2200	-
TP5	0-300	300-800	800-2500	-
TP6	0-400	400-700	700-1800	1800-2100
TP7	0-200	200-900	900-2100	2100-2600
TP8	0-400	400-900	900-2700	2700-2900
TP9	0-1300	1300-2100	-	-

3 Project Description

The proposed project will be equipped with a services building, a covered filling area (including several filling islands), two parking areas (that will be able to accommodate double- and single-wagoned trucks), an aboveground tank farm with observation wells, site access, fencing and services connections (water, sewer and electricity infrastructure). It is proposed that the onsite storage area will have a combined capacity of 482 m³, and will consist of the following infrastructure elements:

The proposed development will see to the installation of:

- 2 aboveground water reservoirs with a combined capacity of 740 kℓ (370 kℓ respectively);
- A main office building: With a width of 12.870 m and a length of 14.410 m. The building will include:
 - o Four (4) offices;
 - o A reception area;
 - o A kitchenette; and
 - o Three (3) bathrooms
- The trucker facility building: With a building width of 11.150 m and a length of 22.370 m. The building will include:
 - o A restroom (for both males and females, respectively);
 - o A laundry area;
 - o A lobby;
 - o An outdoor garden area (providing additional seating);
 - o A dining area;
 - o A canteen (with a kitchen); and
 - o Two (2) Stores.
- A Bulk office: With a width of 6.000 m and a length of 11.500 m that will be comprised of 2 offices.

- A guard house: With a width of 4.110 m and a length of 5.750 m which will include a guard room and a bathroom.
- A bunded tank farm:
 - o Including three (3) horizontal tanks of 46 000 m³ each (with a width of 11.140 m and a length of 16.870 m;
 - o Four (4) vertical tanks of 86 000 m³ each (with a width of 11.995 m and a length of 11.480 m); and
 - o Based on the future supply and demand, there will be sufficient area to accommodate an additional 4 vertical tanks. The need therefore will however only be determined once the facilities are operational (if approved) and if the additional supply would be justified by the demand.
- A canopied filling area will include:
 - o Four (4) filling islands with the capacity to provide services to seven (7) trucks at any one time;
 - o A canopy with a width of 12.150 m and a length of 37.000 m.
- A wash bay with an overall building width of 8.010 m and a length of 25.2110 m

Impact of the project upon the bedrock

It is evident that the Truck Stop facility will have fuel storage tanks that are housed in a bunded tank farm, which will be located on surface. Accordingly, the deepest excavations that will be required to accommodate the facilities infrastructure will be those that are normally required to accommodate the foundations for built structures, fencing, and services connections (water, sewer and electricity infrastructure). It is anticipated, herein, that the maximum depth of any of these excavations will be 1 m. It is evident from Table 2 that any excavation shallower than 1 m will not impact upon the bedrock.

4 Recommendation

The bedrock underlying the proposed Truck Stop area is potentially fossiliferous, and those fossils are likely to be of high scientific importance. However, it is anticipated upon the basis of the amount of geotechnical data available that the emplacement of the Truck Stop, and its associated infrastructure, will not require the excavation of any trenches exceeding 1 m in depth. Any such excavation will not exceed the established thickness of the unfossiliferous soil horizon, nor impact upon the bedrock. It is, accordingly, recommended that no Palaeontological Impact Assessment is required before commencement of the project, and no further palaeontological Impact Assessment work will be required.

This recommendation is provisional upon the project remaining wholly within the area reported upon herein, and that the infrastructure forming the project remains unaltered from that described herein. Should either of these criteria change in any measure the recommendation becomes null and void.

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A handwritten signature in black ink, appearing to read "B.D. Millsted", enclosed within a thin black rectangular border.

26th March 2023